



Attachment 2 to Item 2.1.3.

Plans used during assessment

Date of meeting: 18 July 2024
Location: Council Chambers or audio-visual link
Time: 10am

CONCRETE ACCESS PATH FROM FIRE EXIT TO WOODLANDS ROAD

PROPOSED UNDERGROUND WASTE WATER STORAGE TANK, 150,000L

PROPOSED UNDERGROUND TANK, 110,000L
BARKER RYAN STEWART
PLAN DETAIL
SY160268C102

LEGEND

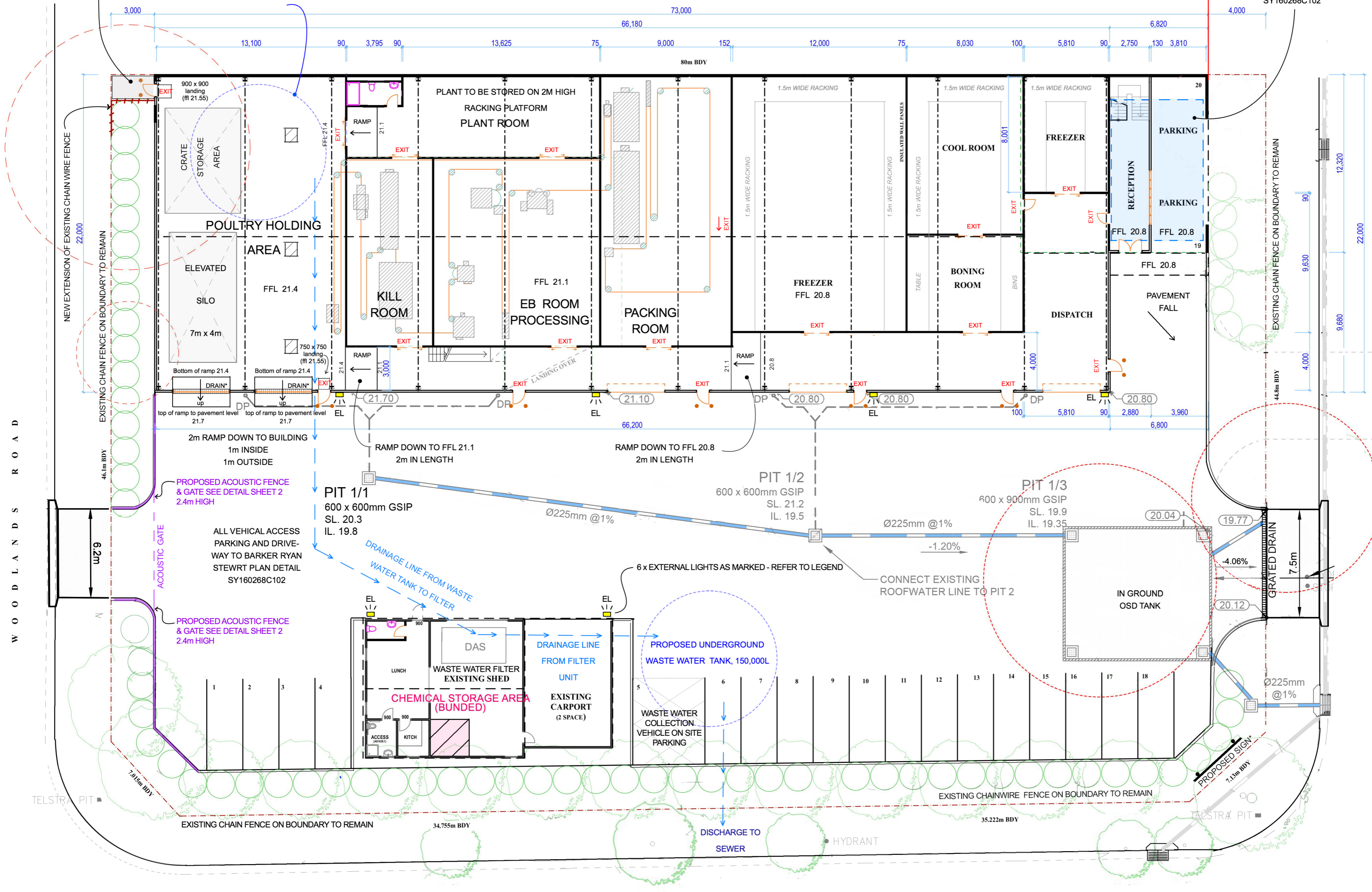
- MACHINERY / PRODUCTION LINE
- BEAM OVER
- ROOF OVER
- BOUNDARY
- OUTLINE OF FIRST FLOOR OVER
- NEW SHRUB
- NEW TREE / RETAINED TREE
- TREE REMOVED
- BOLLARD WITH 1m SPACING
- EXTERNAL LIGHT - 6 WALL LIGHTS IN TOTAL PLACED 4m UP FROM FFL TO FACE BUILDING

PROPOSED SIGN*
1:100

DRAIN* - ALL DRAINAGE TO ENGINEERS DETAIL

EXISTING VEHICLE CROSSING AND LAYBACK TO BE DEMOLISHED, REMOVED AND REINSTATED TO KERB AND GRASSED NATURE STRIP IN ACCORDANCE WITH COUNCIL REQUIREMENTS

ALL VEHICAL ACCESS PARKING AND DRIVEWAY TO BARKER RYAN STEWART PLAN DETAIL SY160268C102



SITE CALCULATIONS

Ground floor factory area	1442.11 m ²
Ground floor under cover parking	48.79 m ²
First floor Plant & Storage	264.5 m ²
Ground floor office	49.28 m ²
First floor office	153.86 m ²
Total area	1958.54 m²

GROUND FLOOR PLAN / SITE PLAN

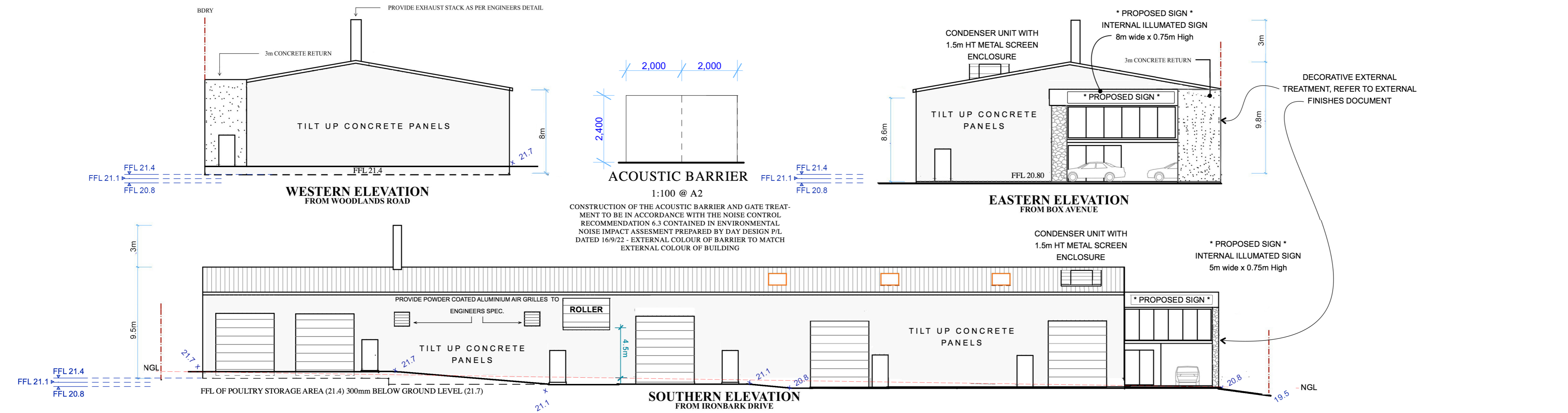
HAVANAH
BUILDING DESIGN

Proposed : Poultry Processing Facility
Client : Summerland Poultry
Site Address : 10 Woodlands Road, Wilberforce NSW 2756
Scale : 1:200 (ground floor plan / site plan)
Title : Development Application

Drwg no. : 127/18
Sheet no. : 1/3
Description : Lot 2&3 DP 260028
Date : Sept 12, 2018
Drawn : Dominic Towner

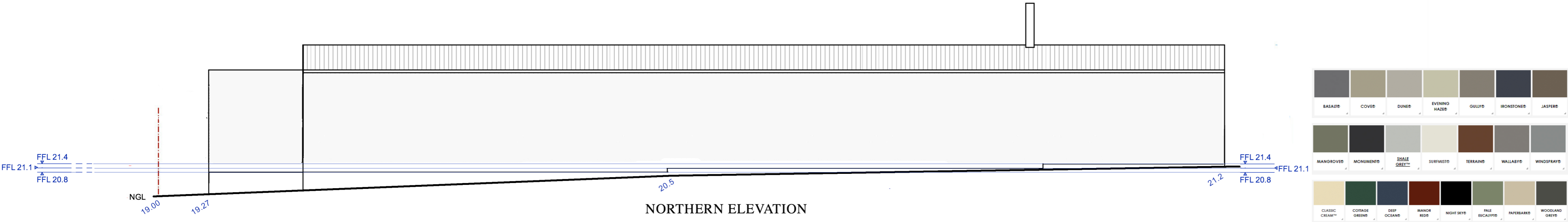
ISSUE J - 4/4/2023





CONSTRUCTION OF THE ACOUSTIC BARRIER AND GATE TREATMENT TO BE IN ACCORDANCE WITH THE NOISE CONTROL RECOMMENDATION 6.3 CONTAINED IN ENVIRONMENTAL NOISE IMPACT ASSESSMENT PREPARED BY DAY DESIGN P/L DATED 16/9/22 - EXTERNAL COLOUR OF BARRIER TO MATCH EXTERNAL COLOUR OF BUILDING

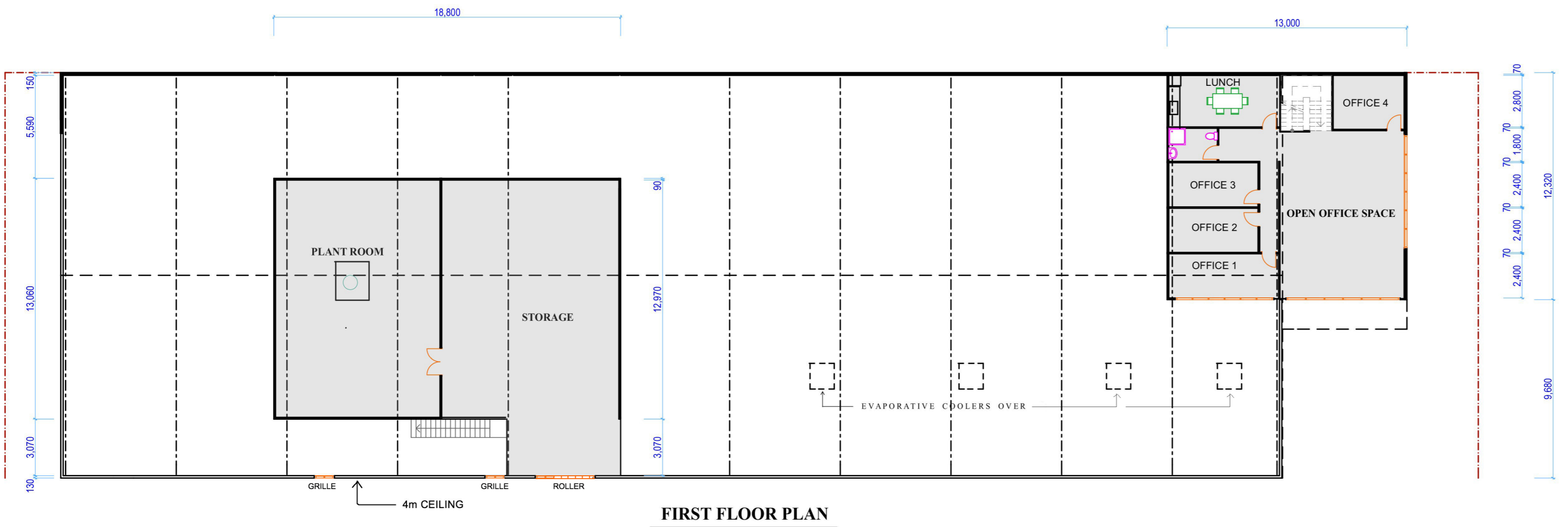
DECORATIVE EXTERNAL TREATMENT, REFER TO EXTERNAL FINISHES DOCUMENT



BASALT	COVER	DUNES	EVENING HAZE	GULLY	IRONSTONE	JASPER
MANGROVE	MONUMENTS	SHALE GREY	SURF MIST	TERRANO	WALLABY	WINGSFRAYD
CLASSIC CREAM	COTTAGE GREENS	DEEP OCEANS	MANOR RED	NIGHT SKY	PALE ESCALTYD	PAPEBARK
WOODLAND GREY						

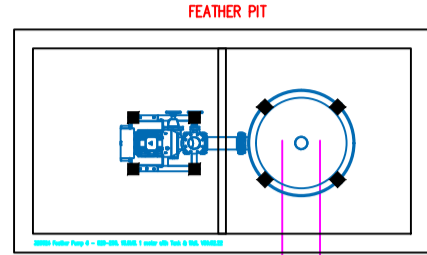
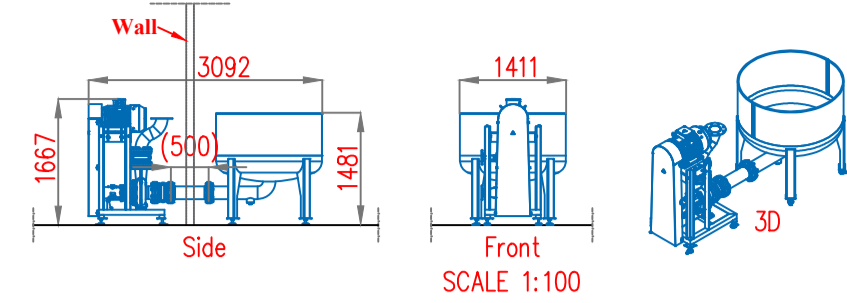
Finishes (Materials)	
Roof:	Steel
Walls:	Concrete Panels
Frame:	Steel
Front cladding:	Decorative panelling
Glass:	Tinted Glass
Doors:	Metal
Colours	
Roof:	Shale Grey
Walls:	Shale Grey and Surf Mist with a textured finish
Trims:	Shale Grey
Glass:	Grey tinted
Decorative Panelling:	Terranio
Roller and PA doors:	Shale Grey

SITE CALCULATIONS	
Ground floor factory area	1442.11 m ²
Ground floor under cover parking	48.79 m ²
First floor Plant & Storage	264.5 m ²
Ground floor office	49.28 m ²
First floor office	153.86 m ²
Total area	1958.54 m ²



Proposed :	Poultry Processing Facility	Drwg no. :	127/18
Client :	Summerland Poultry	Sheet no. :	3/3
Site Address :	10 Woodlands Road, Wilberforce NSW 2756	Description :	Lot 2&3 DP 260028
Scale :	1:200 (first floor plan & elevations) (A1)	Date :	Sept 12, 2018
Title :	Development Application	Drawn :	Dominic Towner

Offal Pump 6. 18.5kW. 1 motor & wall



CHILLING & WEIGHING

LAIRAGE

FREEZER

COOL ROOM

FREEZER

PARKING

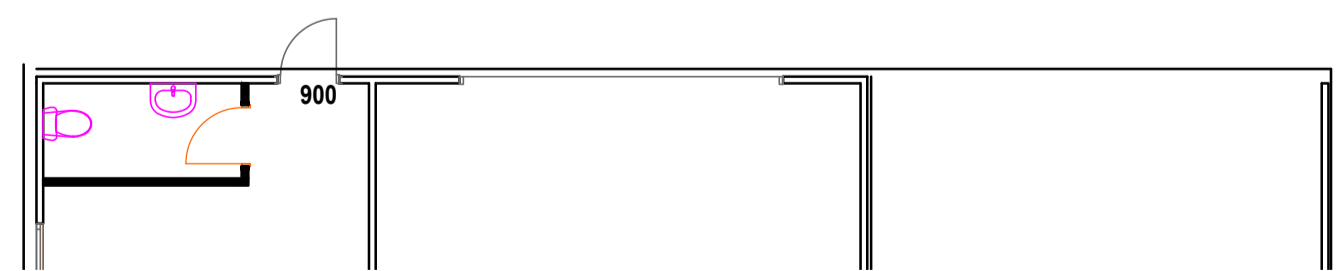
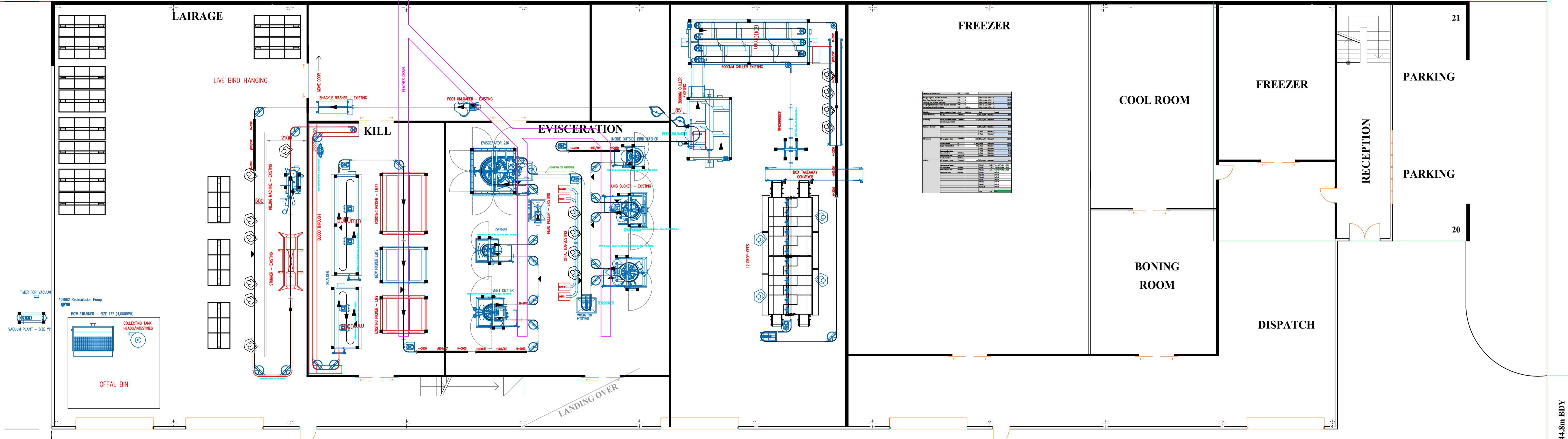
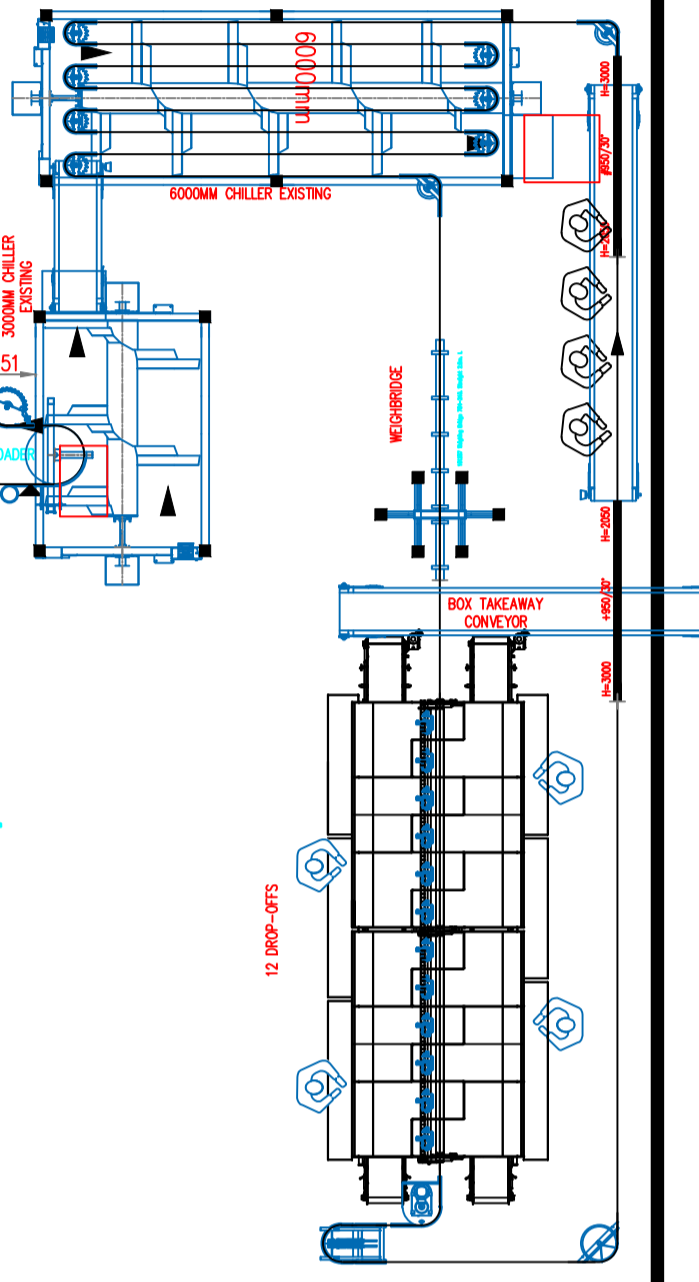
PARKING

BONING ROOM

DISPATCH

KILL

EVISCERATION



FORELØBIGT TRYK
PRELIMINARY PRINT
VORLÄUFIGE KOPIE





Date	Correction	Int.	Date	Correction	Int.

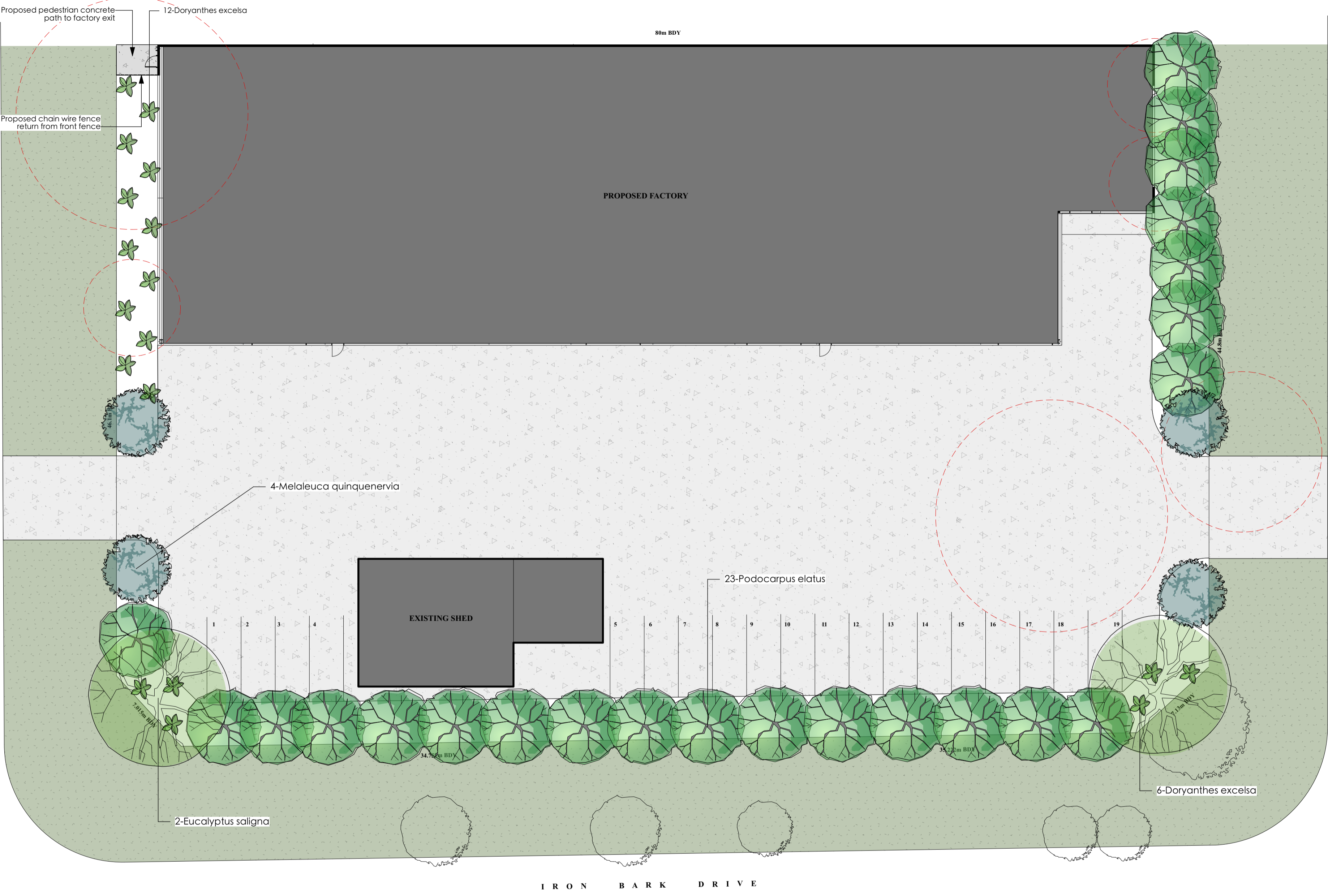
BAADER <small>LINCO Food Systems AIS • DK-8380 Trige Tel: +45 86 23 14 55 • Fax: +45 86 23 14 44 linco@baader.com www.baader.com</small>	Summerland 4,000 Birds Per Hour plant upgrade	Scale: 1:50 Date: 26.10.23 Int.: MR
	Replaces:	Checked:
	Replaced by:	Drawn:

44.8m BDY

WIDR
VEN

LEGEND

- PROPOSED CONCRETE AREA 
- PROPOSED LAWN AREA 
- EXISTING TREE TO BE REMOVED 
- EXISTING TREE TO BE RETAINED 

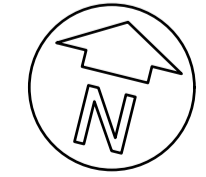


HEDGING EXAMPLE



PLANTING SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Doryanthes excelsa	Gynea Lily	18	15lt	1500	1500
Eucalyptus saligna	Sydney Blue Gum	2	45lt	10000	20000
Melaleuca quinquenervia	Paperbark	4	15lt	5000	10000
Podocarpus elatus	Plum Pine, Brown Pine	23	25lt	5500	35000

REVISION A	DATE 27.03.23	AMMENDMENT planting schedule access path	DRAWN JS	NORTH 
<p>1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE 2. ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORK. ASPECT DESIGNS ARE TO BE NOTIFIED IN WRITING OF ANY DISCREPANCIES 3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, REPORTS, SPECIFICATIONIONS © COPYRIGHT OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN ASPECT DESIGNS</p>				

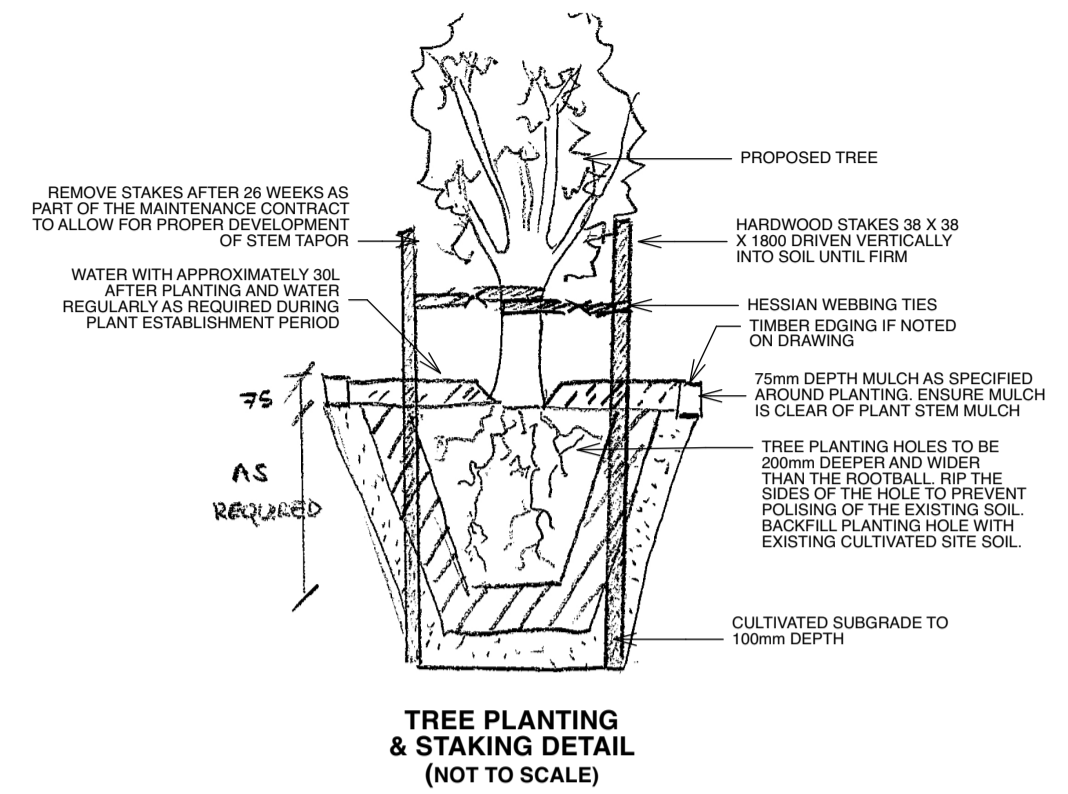
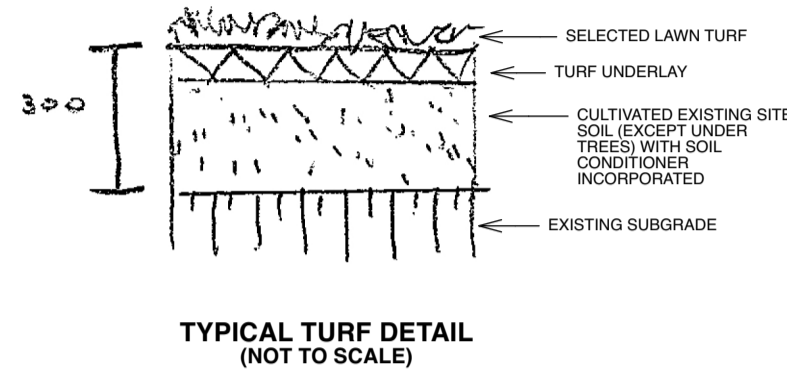
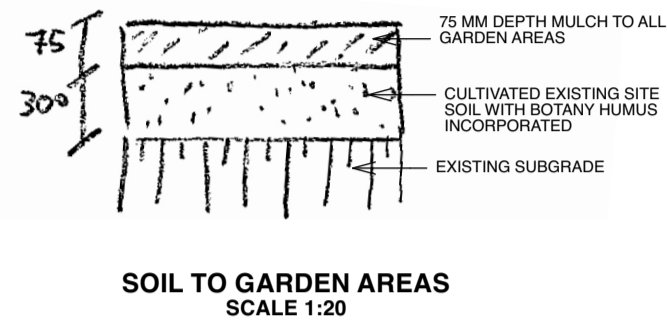
Client: URBAN CITY PLANNING	Title: LANDSCAPE PLAN	Scale: 1:200	Sheet: A2
Site Address: 10 WOODLANDS RD, WILBERFORCE	Date 16.01.22	Sheet No: L/01	Rev: A
Drawing Status: DA	Project Number: 211202		

PROPOSED POULTRY FACTORY

Aspect Designs
 Studio 103
 84 Alexander St,
 Crows Nest NSW 2065
 0418 638 973
 joel@aspectdesigns.com.au



TYPICAL LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works. Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones:(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

(a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.

(b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.

(c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.

(d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.

(e) **Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.

(f) **Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.

(g) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.

(h) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.

(i) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.

(j) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

REVISION	DATE	AMMENDMENT	DRAWN	NORTH	Client:	Title:	Scale:	Sheet:
A	27.03.23	planting schedule access path	JS		URBAN CITY PLANNING	LANDSCAPE DETAILS SHEET	N/A	A2
					Site Address:	Date	Sheet No:	Rev:
					10 WOODLANDS RD, WILBERFORCE	16.01.22	L/02	A
						Drawing Status:	Project Number:	
						DA	211202	
<p>1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE</p> <p>2. ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORK. ASPECT DESIGNS ARE TO BE NOTIFIED IN WRITING OF ANY DISCREPANCIES</p> <p>3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, REPORTS, SPECIFICATIONS</p> <p>© COPYRIGHT OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN ASPECT DESIGNS</p>								<p>PROPOSED POULTRY FACTORY</p> <p>Aspect Designs Studio 103 84 Alexander St, Crows Nest NSW 2065 0418 638 973 joel@aspectdesigns.com.au</p>

HAWKESBURY CITY COUNCIL PROPOSED INDUSTRIAL UNIT 10 WOODLANDS AVENUE, WILBERFORCE CONCEPT STORMWATER DESIGN PLAN Prepared for: URBAN CITY CONSULTING

GENERAL NOTES

1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH HAWKESBURY CITY COUNCIL'S WORKS SPECIFICATION CIVIL - 2005 REQUIREMENTS AND/OR AS DIRECTED BY THEIR REPRESENTATIVE.
2. THE CONTRACTOR IS TO IDENTIFY, LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST WHERE NECESSARY.
3. COUNCIL'S TREE PRESERVATION ORDER MUST BE OBSERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT THE PRIOR APPROVAL OF COUNCIL.
4. ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011 AND ALL RELEVANT OCCUPATIONAL HEALTH & SAFETY POLICIES AND REGULATIONS.
5. DIMENSIONS SHALL NOT BE SCALED FROM THE PLANS. CLARIFICATION OF DIMENSIONS SHALL BE SOUGHT FROM THE SUPERINTENDENT OR REFERRED TO THE DESIGNER.
6. SURVEY MARKS SHOWN THUS ▲ SHALL BE MAINTAINED AT ALL TIMES. WHERE RETENTION IS NOT POSSIBLE THE ENGINEER SHALL BE NOTIFIED AND CONSENT RECEIVED PRIOR TO THEIR REMOVAL.
7. ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
8. THE CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN OR ON ADJACENT LANDS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE WRITTEN PERMISSION OF THE OWNERS.
9. SEDIMENT MEASURES SHALL BE IMPLEMENTED PRIOR TO SOIL DISTURBANCE IN KEEPING WITH THE 4th EDITION OF LANDCOMS "SOILS AND CONSTRUCTION - MANAGING URBAN STORMWATER" MARCH 2004 TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE AND AS SHOWN IN THESE DRAWINGS.
10. THE CONTRACTOR SHALL CLEAR AND DISPOSE OF ONLY THOSE TREES THAT ARE CONDEMNED BY THE PLANS. COUNCIL'S TREE PRESERVATION ORDER SHALL BE OBSERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT PRIOR APPROVAL.
11. THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES, OUT HOUSES, CAR BODIES, DEBRIS, ETC. THE CONTRACTOR SHALL NOT DISPOSE OF ANY DEBRIS BY BURNING OFF IN AN OPEN FIRE.
12. UNSOUND MATERIALS AS DETERMINED BY COUNCIL'S REPRESENTATIVE SHALL BE REMOVED FROM ROADS AND LOTS PRIOR TO ANY FILLING.
13. ALL SITE REGRADING AREAS SHALL BE GRADED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE LEVELS ON THE EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING ANY FILL OPERATIONS.
14. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED OR DISPOSED OF IN ACCORDANCE WITH THE CONTRACT, OR AS DIRECTED BY THE SUPERINTENDENT.
15. ALL SITE FILLING SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm AND COMPACTED IN ACCORDANCE WITH COUNCIL'S SPECIFICATION AND BE TESTED AT THE REQUIRED INTERVALS BY AN APPROVED N.A.T.A. GEOTECHNICAL LABORATORY.
16. MINIMUM 150mm THICK TOPSOIL SHALL BE SPREAD ON ALL FOOTPATHS, BERMS, BATTERS AND SITE REGRADING AREAS. EXCESS TOPSOIL SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT.
17. ALL LAND DISTURBED BY EARTHWORKS SHALL BE SPRAY-GRASSED, OR SIMILARLY TREATED TO ESTABLISH GRASS COVER. SEED MIXTURES ARE TO BE APPROVED BY COUNCIL PRIOR TO SPRAYING. ALL GRASSED AREAS SHALL BE REGULARLY WATERED AND MAINTAINED UNTIL EXPIRATION OF THE MAINTENANCE PERIOD.
18. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
19. ALL PITS DEEPER THAN 1.2m SHALL HAVE STEP IRONS PROVIDED IN ACCORDANCE WITH COUNCIL'S STANDARDS.
20. ALL DRAINAGE LINES THROUGH LOTS SHALL BE CONTAINED WITHIN THEIR EASEMENTS AND CONFORM WITH COUNCIL'S STANDARDS.
21. ALL DRAINAGE LINES ON HIGH SIDE AND UNDER ROADS SHALL BE BACKFILLED SHARP SAND AND HAVE 3.0m OF AGRICULTURAL LINE WRAPPED IN AN APPROVED FILTER FABRIC, DISCHARGING INTO THE DOWNSTREAM PIT.
22. SUBSOIL DRAINS SHALL BE CONSTRUCTED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE.
23. PRECAST KERB INLET LINTELS SHALL BE USED ON GULLY PITS. GRATES SHALL BE "WELDLOK" TYPE GG 78-51 OR APPROVED EQUIVALENT.
24. PROVIDE VEHICULAR ENTRIES IN KERB AND GUTTER WHERE SHOWN OR WHERE DIRECTED BY THE SUPERINTENDENT.
25. GUIDE POSTS SHALL BE 100mm X 50mm HARDWOOD, PAINTED WHITE WITH REFLECTORS.
26. ERECT STREET NAME SIGNS, CONDUIT WARNING SIGNS AND NO THROUGH ROAD SIGNS WHERE SHOWN OR WHERE DIRECTED BY COUNCIL'S REPRESENTATIVE.
27. CONDUITS SHALL BE LAID AFTER POSITIONS HAVE BEEN DETERMINED BY THE RELEVANT AUTHORITIES AND BEFORE FINAL A.C. IS LAID
28. POSITION OF CONDUITS SHALL BE MARKED ON THE KERB.
29. FELLED TREES SHALL BE SALVAGED FOR RE-USE AS WOODCHIP MULCH OR LOG FORM FOR SITE REHABILITATION, NON-SALVAGEABLE MATERIAL SUCH AS STUMPS AND ROOTS SHALL BE DISPOSED OF OFF SITE.
30. THE CONTRACTOR SHALL PROVIDE MINIMUM 24 HOURS NOTICE TO COUNCIL'S REPRESENTATIVE FOR ALL INSPECTIONS.
31. THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS AT ALL TIMES TO THE ADJOINING PROPERTIES.
32. THE CONTRACTOR SHALL UNDERTAKE TRAFFIC CONTROL MEASURES TO COUNCIL'S SATISFACTION AND SHALL DISPLAY ALL APPROPRIATE WARNING SIGNS THROUGHOUT THE DURATION OF CONSTRUCTION.
33. ALL NATURAL SURFACE DATA HAS BEEN DETERMINED BY TERRAIN MODELLING. ALL CONSTRUCTION SITE WORKS MUST BE CARRIED OUT USING THE BENCH MARKS SHOWN ON THESE DRAWINGS.

LOCATION OF WORKS



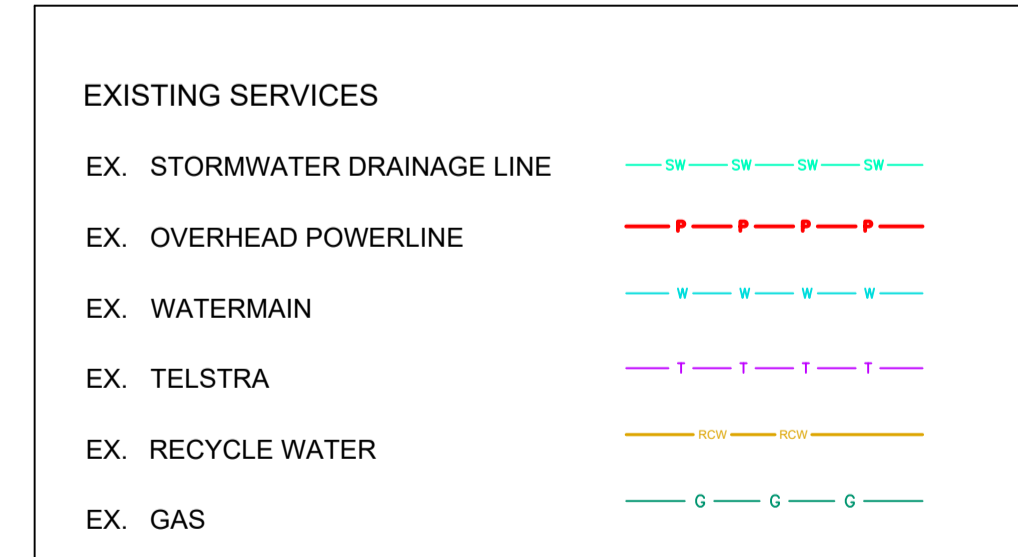
LOCALITY SKETCH
NOT TO SCALE

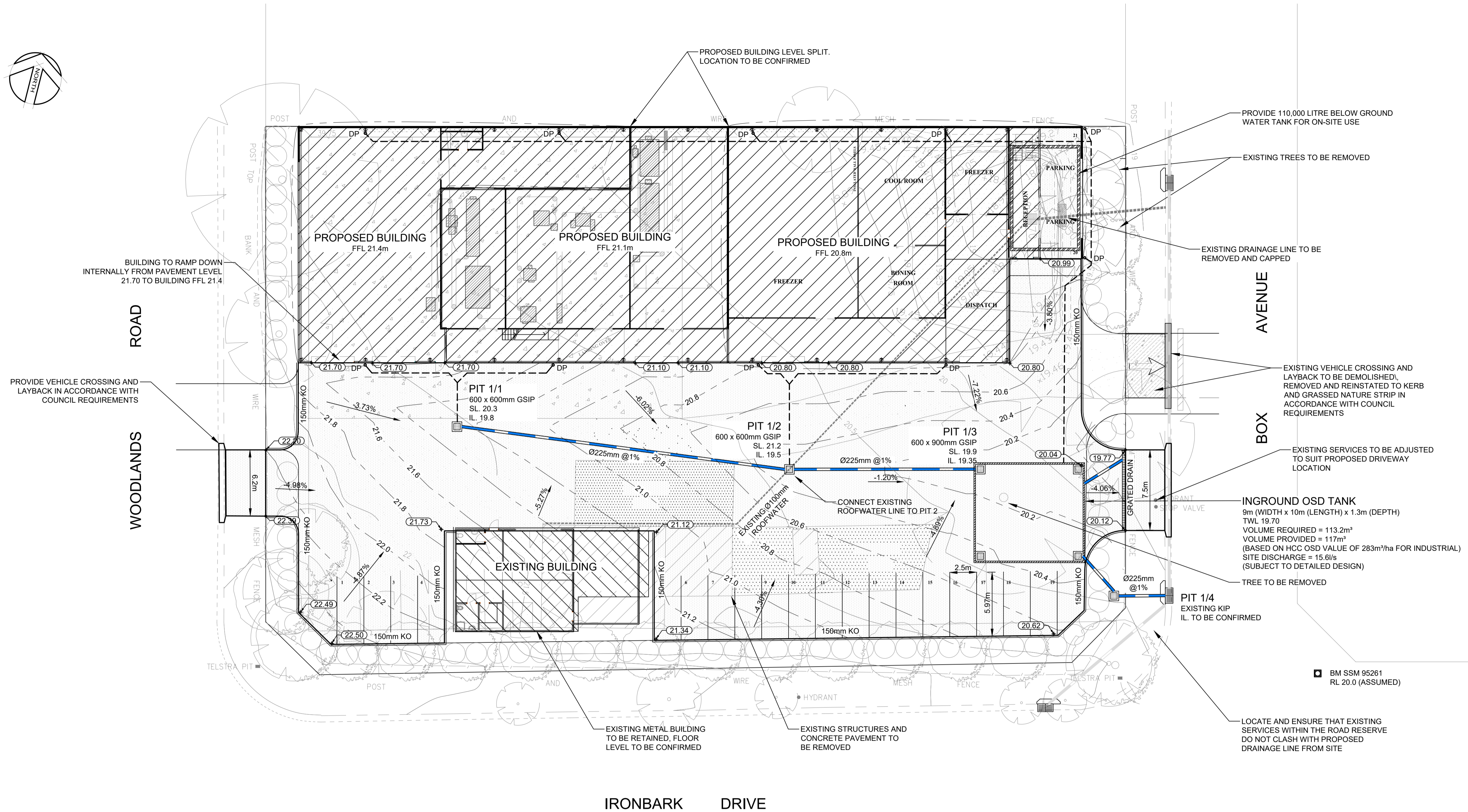
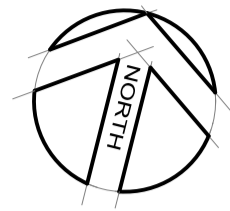
SHEET INDEX

SHEET No.	DESCRIPTION
COVER SHEET	COVER SHEET - GENERAL NOTES, SHEET INDEX AND LEGEND
1	DETAIL PLAN SHEET
2	BULK EARTHWORKS PLAN
3	BULK EARTHWORKS CROSS SECTIONS

LEGEND

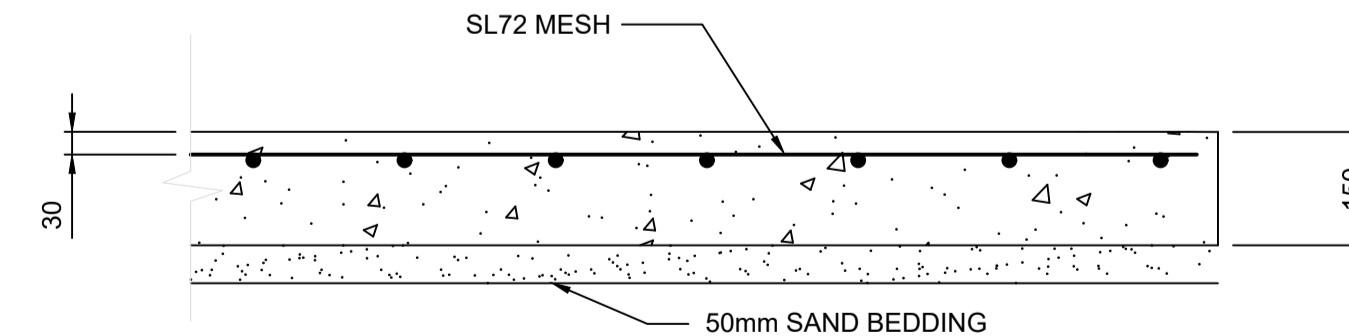
- ROOF DRAINAGE LINE
- PROPOSED DRAINAGE LINE
- EXISTING DRAINAGE LINE
- NATURAL SURFACE CONTOUR
- 79.2 --- DESIGN SURFACE CONTOUR
- TABLE DRAIN
- EXISTING HEADWALL
- PROPOSED HEADWALL
- LIMIT OF CONSTRUCTION
- PIT 1/2
- SS --- SUBSOIL DRAINAGE LINE
- GRATED SURFACE INLET PIT
- SEALED PIT
- KERB INLET PIT





GENERAL NOTES

1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH HAWKESBURY CITY COUNCIL'S DCP APPENDIX E WORKS SPECIFICATION, PART 2 CONSTRUCTION.
2. THE CONTRACTOR IS TO IDENTIFY, LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST WHERE NECESSARY.
3. COUNCIL'S TREE PRESERVATION ORDER MUST BE OBSERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT THE PRIOR APPROVAL OF COUNCIL.
4. THE CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE WRITTEN PERMISSION OF THE OWNERS.
5. ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING WORKS.
6. ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011 AND ALL RELEVANT WORK HEALTH & SAFETY POLICIES AND REGULATIONS.



TYPICAL PAVEMENT DETAIL
SCALE 1:10

REV	AMENDMENT	ISSUED	DATE
C	ARCHITECTURALS & TANK SIZES	JB	29/10/2020
D	TANK SIZES	JB	2/12/2020
E	FIFTH ISSUE	DV	24/01/2022
F	SIXTH ISSUE	DV	29/07/2022
G	SEVENTH ISSUE	DV	04/08/2022



Client: URBAN CITY CONSULTING

10 WOODLANDS AVENUE, WILBERFORCE
PROPOSED POULTRY PROCESSING FACILITY

DRAINAGE DESIGN PLAN

Designed: JB
Drawn: JB
Checked: RW

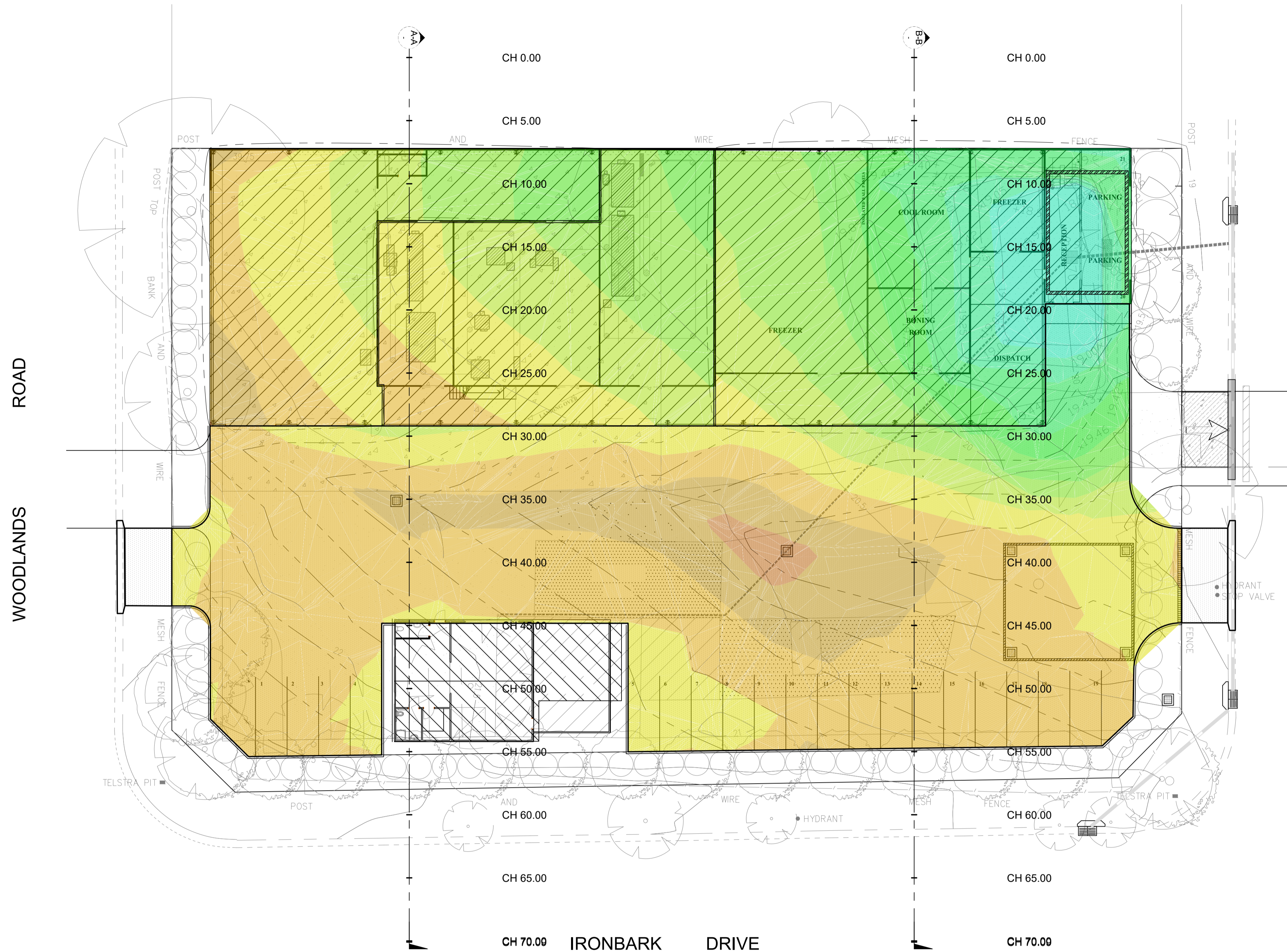
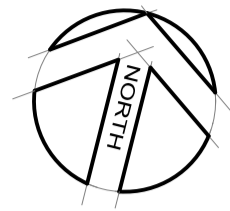
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Horiz.
Vert.
X-Sect.

Datum: A.H.D.



Plan No. SY160268C102
File Ref. SY160268C1d.dwg
SHEET 2 OF 4 SHEETS

REV. G



No.	From Level	To Level	Colour
1	-1.000	-0.750	Dark Brown
2	-0.750	-0.500	Brown
3	-0.500	-0.250	Orange
4	-0.250	0.000	Yellow
5	0.000	0.250	Light Green
6	0.250	0.500	Green
7	0.500	0.750	Light Green
8	0.750	1.000	Green
9	1.000	1.250	Light Green
10	1.250	1.500	Green
11	1.500	1.750	Light Green
12	1.750	2.000	Green

TOTAL CUT: 220 m³
 TOTAL FILL: 1205 m³
 TOTAL BALANCE: 985 m³ (FILL)

- NOTE:
- BULK EARTHWORKS VOLUMES ARE FOR INFORMATION ONLY AND ARE NOT TO BE RELIED UPON FOR TENDERING PURPOSES
 - BULK EARTHWORKS VOLUME ARE TO FSL ONLY
 - EARTHWORKS VOLUMES DO NOT INCLUDE BOXING OF PITS, PIPE TRENCHING, SERVICES, RETAINING WALLS, PAVEMENT SLABS OR ANY OTHER STRUCTURES BELOW DESIGN SURFACE.
 - NO BULKING FACTORS HAVE BEEN APPLIED
 - DESIGN FINISH SURFACE LEVEL CONTOURS SHOWN

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2D Area	Cut	Fill	Net
BUILDING BEW	1.000	1.000	1533.78sq.m	20.21 Cu. M.	988.21 Cu. M.	968.00 Cu. M.<Fill>
CAR PARK BEW	1.000	1.000	1802.45sq.m	199.44 Cu. M.	216.69 Cu. M.	17.24 Cu. M.<Fill>
Totals			3336.24sq.m	219.65 Cu. M.	1204.90 Cu. M.	985.25 Cu. M.<Fill>



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SYDNEY
 P: 02 9659 0005
 CENTRAL COAST
 P: 02 4325 5255
 HUNTER
 P: 02 4966 8388
 AEN: 26 134 067 842
 www.brs.com.au
 mail@brs.com.au

Client:
 URBAN CITY CONSULTING

10 WOODLANDS AVENUE, WILBERFORCE
 PROPOSED POULTRY PROCESSING FACILITY

DRAINAGE DESIGN PLAN

Designed: JB
 Drawn: JB
 Checked: RW

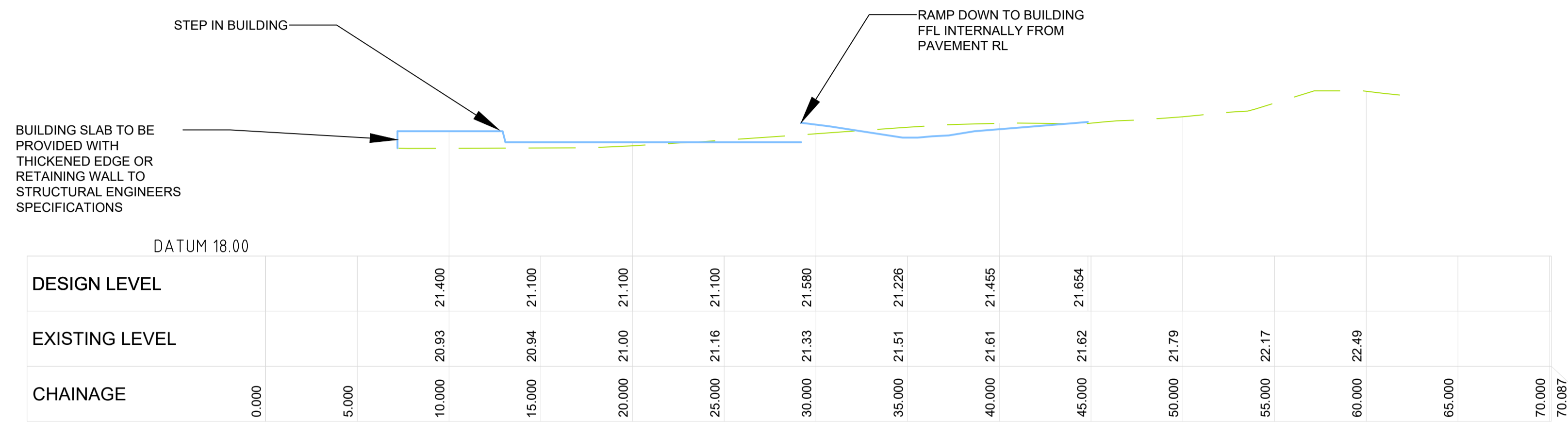
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 Horiz.
 Vert.
 X-Sept.

Datum: A.H.D.

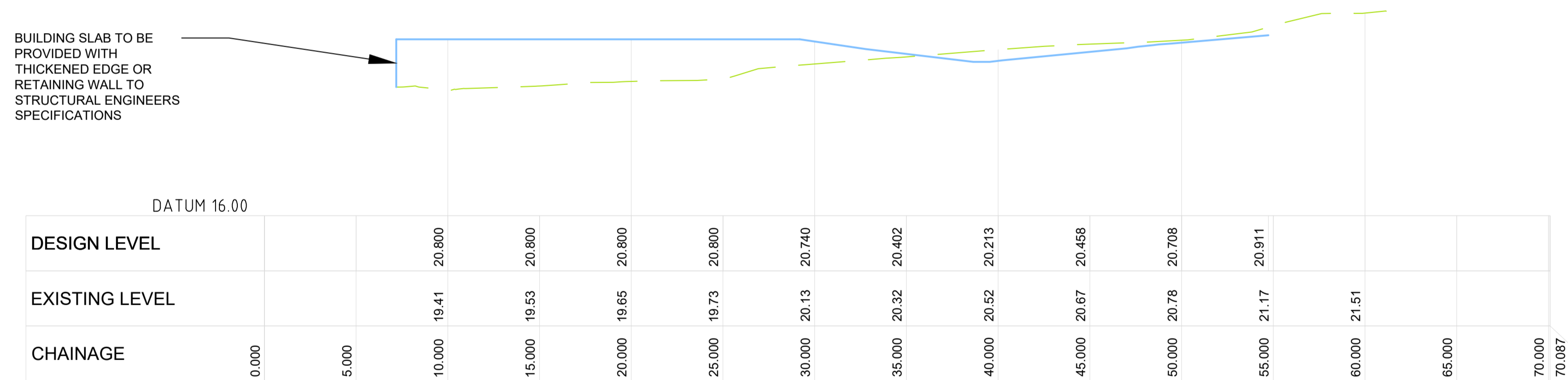
Plan No.
 SY160268C102

File Ref.
 SY160268C1d.dwg
 SHEET 2 OF 4 SHEETS

REV.
G



SECTION A-A
HORIZONTAL 1:200
VERTICAL 1:100



SECTION B-B
HORIZONTAL 1:200
VERTICAL 1:100



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DETAILS

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Scales: Plan
Horiz. 1:200
Vert. 1:100
X-Sect.

Datum: A.H.D.

Plan No.
SY160268C104

File Ref.
SY160268C1d.dwg
SHEET 4 OF 4 SHEETS

REV.

G