



Attachment 3 to Item 2.1.1.

Heritage Report and Addendum Report

Date of meeting: 27 February 2025
Location: Council Chambers
Time: 10am

20 July 2023

Andrew Johnstone,
Hawkesbury Council
366 George Street,
Windsor NSW 2756



Dear Mr Johnstone,

ADDENDUM STATEMENT OF HERITAGE IMPACT PROPOSED DEVELOPMENT AMENDMENTS DA 0120/22 27 DOUGLAS ROAD, KURRAJONG HEIGHTS

This addendum Statement of Heritage Impact has been prepared in response to the heritage concerns raised in your email dated 28/03/2023 regarding DA 0120/22 for 27 Douglas Road, Kurrajong Heights.

The addendum evaluates the proposed amended Architectural plans and elevations by Archebiosis Architects. It provides information, analysis and recommendations to enable Council to evaluate the amendments, particularly in relation to the *Hawkesbury DCP 2002, Part E, Specific Areas, Kurrajong Heights Village*. It concludes that the proposed amendment has significantly reduced the visual bulk and scale and altered the character of the proposal, enabling the proposal to sit comfortably within and have no adverse impact upon the *Kurrajong Heights Village* context.

THE AMENDED PROPOSAL

The proposed amendment has made a considerable change to the presentation of the proposed Hotel, which visually breaks down the building into smaller elements consistent with the language and character of the Village; this has been achieved by:

- Visual break into two separate pavilions and four apparent masses,
- Roof form articulation,
- Clear articulation of the balcony/verandah, breaking it into two separate elements
- Reduction in width to the front verandah and balconies,
- Removal of acoustic screening and roof to the first-floor balcony,
- Change of acoustic screening to the ground floor verandah,
- Introduction of planter boxes to the first-floor balcony,
- Alteration of the fenestrations facing Bells Line of Road, to support the visual presentation of sympathetic building masses, visually broken by glass elements.
- Change in materials and colours to better relate to those in the surrounding area.

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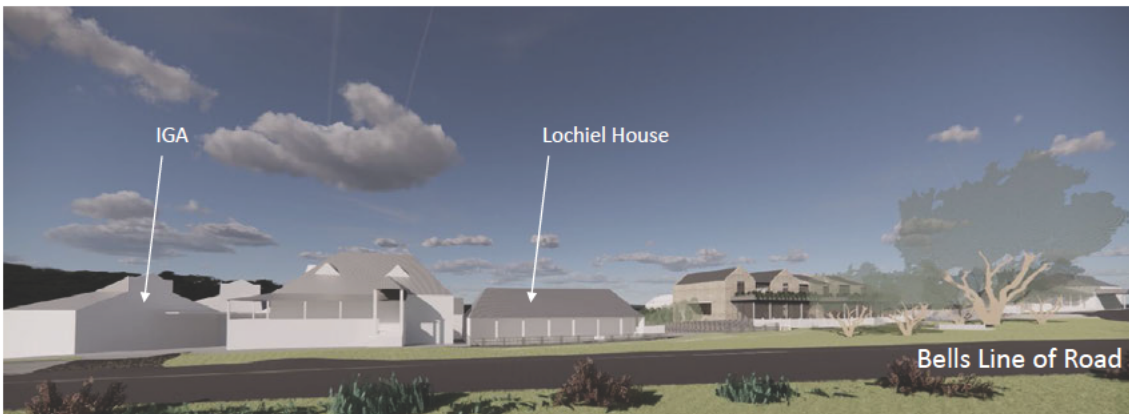
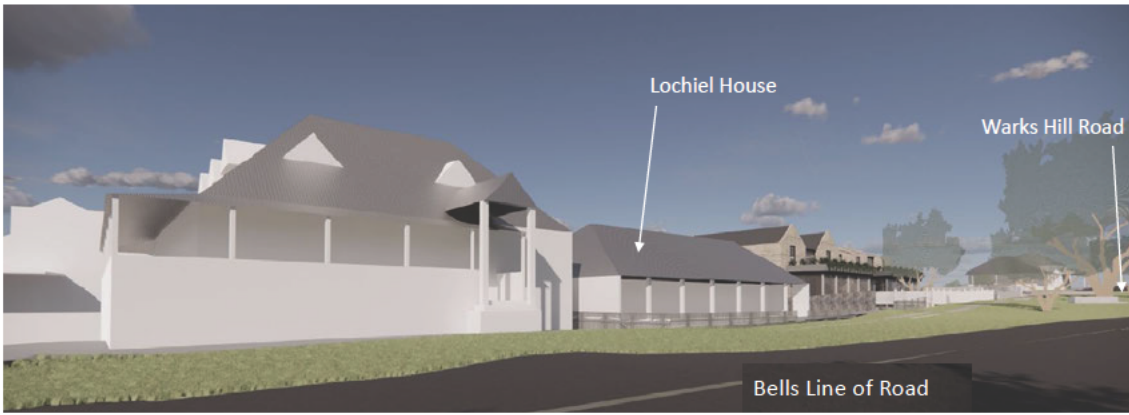


Figure 1

3D Visualisation of the Hotel in the context of the adjoining heritage-listed items. Note that due to the Hotel's large setback from the streetscape, the Heritage Items remain prominent within the streetscape and are not obscured from view by the proposed Hotel. Also, note the visual and landscape separation between the proposed Hotel and the buildings within the village.

Source: Archibiosis Architects, Kurrajong Heights Hotel, 3D views, July 2023

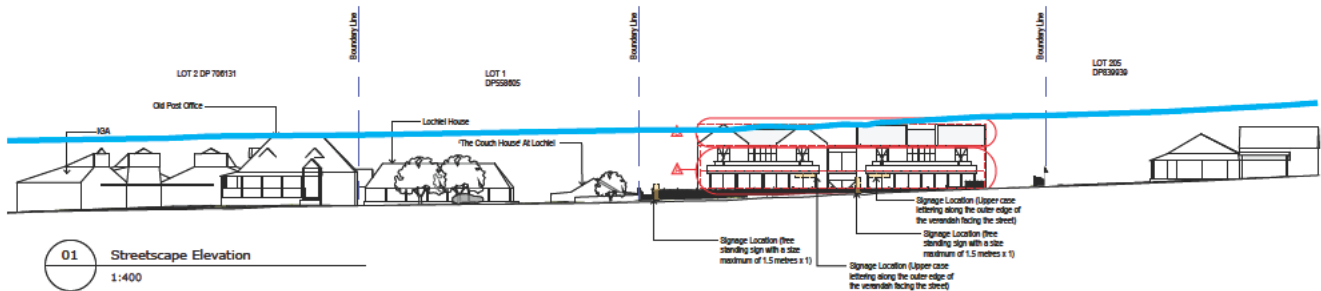


Figure 2

Streetscape elevation showing the proposed Hotel within the context of adjoining buildings along Bells Line of Road and Warks Hill Road. Note the light blue line indicates height line taken from the Old Post Office at the gradient of the streetscape, showing that the Hotel's height is similar to the established height within the streetscape.

Source: Archibiosis Architects, *Kurrajong Heights Hotel and Accommodation, Streetscape Elevation - Hotel, SK202, Issue 2, 07/07/2023 (not to scale)*

The above 3D views show that the amendments visually reduce the scale and bulk of the proposal, which now sits comfortably within the streetscape of Bells Line of Road and Warks Hill Road. The 3D views also show that adequate visual and landscape separation is maintained between the proposed Hotel and the buildings within the Village, achieved by the side and front setbacks allowing the Heritage Items to remain prominent. Similarly, the streetscape elevation shows that the Hotel's height is maintained at a compatible height within the streetscape when the slope of the street is taken into consideration. The 3D views clearly illustrate that the Hotel has no adverse impact on views of the adjoining heritage items. The amended proposal is considered to maintain the Village aesthetic of Kurrajong Heights.

RESPONSE TO HERITAGE ISSUES RAISED

The below issues have been extracted from the email from Council Subject: *RE: DA 0120/22 - 27 Douglas Rd Kurrajong, 28/03/2023*, with comments on how the amendments have addressed these issues:

Kurrajong Heights Village – Heritage, Character and Appearance

3. *The subject site is located within the Kurrajong Heights Village and is located within the vicinity of a number of heritage items. This village is located on one of the two original road routes from Sydney over the Blue Mountains and has a unique historic character. Section 1.3 of Part E Chapter 1 of the Hawkesbury DPC 2002 outlines that "Since the 1880's there has been limited growth in Kurrajong Heights Village. This growth has resulted in the village being low scale and set within a landscaped rural/residential setting".*

In recognition of these unique historic and aesthetic characteristics, Part E Chapter 1 of the Hawkesbury DCP 2002 establishes three key principles in relation to development within the Kurrajong Heights Village:

- *to manage change in Kurrajong Heights Village ... (to) conserve and protect the character and significance of not only individual heritage items but that of the wider village;*
- *to conserve and enhance the visual and environmental amenity of Kurrajong Heights Village and its hinterland; and*
- *to ensure that ... new development in Kurrajong Heights Village (is) compatible in scale, form and character with the character and significance of the village.*

Upon review of the supplied plans and documentation, Council's Heritage Officer is not supportive of the development for the following reasons:

(a) *The form, scale, character and intensity of the development is considered to constitute a 'major development proposal' and would therefore fail to satisfy the Kurrajong Heights Village requirements of Part E Chapter 1 of the Hawkesbury DCP 2002.*

(b) *The bulk, scale, character and appearance of the development proposal, which includes extensive basement parking and extensive, distinctly modern, acoustic screens and acoustic canopies, would have an adverse aesthetic impact on the unique historic rural character and heritage significance of the adjoining and nearby heritage items, and the whole of the Kurra-jong Heights Village.*

(c) *The bulk, scale, and siting of the proposed buildings on the development site would have an adverse visual impact on the setting and visual relationship between the heritage items that form the Kurrajong Village Precinct.*

(d) *The development proposal has not assessed European and Aboriginal archaeology and cultural heritage impacts of the planned development.*

Comment:

a)

- The amended proposal has significantly reduced the visual bulk and scale of the proposed Hotel as viewed from Bells Line of Road and Warks Hill Road.
- The character of the Hotel has been amended to visually represent an accumulation of smaller building elements, in keeping with the scale and amalgamated character of Kurrajong Heights Village.
- The change of roof form into smaller components allows a reduction in the visual form of the Hotel.
- The overall footprint of the proposal is not apparent from the Village streetscape, and this footprint is not dissimilar to the ratio of built space on the Old Post Office and IGA site.
- There is a lack of definition regarding what is considered '*major large scale development*' within the *Hawkesbury DCP 2002*. However, the proposal generally presents as a combination of low-scale elements stepping down the site's slope.
- As the proposal provides adequate separation, setbacks and visual impact to both streetscapes, the proposal is considered suitable within the *Kurrajong Heights Village*.

b)

- The amendment has addressed the issues of bulk, scale, character and appearance, within the Kurrajong Heights Village, by altering the street presentation and form, which includes the removal of the '*distinctly modern acoustic screens and acoustic canopies*'.
- The amendment allows the Hotel to sit comfortably within the streetscape, adjoining the heritage items.
- The colour and finishes palette has also been updated to allow the proposal to blend with the Village colour scheme.
- The basement parking to the Hotel is visually concealed to all but the south (rear) elevation and therefore has no visual impact on the Village streetscapes. Additionally, the semi-underground car parking below the accommodation is largely concealed from the streets, maintaining a suitable low-scale presentation to Douglas Road.

c)

- As discussed under a) the amendment is considered to have addressed the visual impact issues raised in relation to the adjoining heritage items, as illustrated within the 3D views provided.

d)

- It is understood that Aboriginal archaeology has been addressed separately. Archaeological assessment of the subject site is outside the scope of this report. Should any relics be disturbed during the excavation of the site, they must be managed under the Archaeological provisions of the NSW Heritage Act. The March 2022 Statement of Heritage Impact and this additional addendum are considered to address the heritage impacts of the proposal.

4. The proposal seeks the removal of 14 trees in front of the proposed hotel portion of the development on Bells Line of Road. These trees are not located on the subject site but on the road reserve. This stand of trees help to contribute to the landscaped setting of the adjacent local heritage items of 'Ivy Cottage/Lochiel House' at 1259 Bells Line of Road and the 'Shop and residence' at 1A Warks Hill Road, and also provide protection and a treed setting to the stone memorial to Caroline Louisa Atkinson (Kurrajong Botanist) on the road verge.

The uses and features of the proposed development, in particular the planned civil road works, driveways and tree removals outside the boundary of the development etc., would have an adverse impact on significant trees that strongly contribute to the heritage significance of the adjoining and nearby heritage items, and the whole of the Kurrajong Heights village.

Comment:

It is understood that this issue has also been addressed separately as part of the amendment and that the majority of the trees in the landscape verge surrounding the memorial will be retained. While the proposed retaining walls adjoining the Bells Line of Road boundary will impact a few trees, these will be replaced with suitable trees for the location; please refer to the *NewLeaf arboriculture tree protection plan* and *Outside In Landscape Plan*.

5. Civil works are proposed within Douglas Road to support the proposed development. These works are to be located within the Tree Protection Zones (TPZ) and Structural Root Zones (SRZ) of two significant Camphor Laurel Trees (*Cinnamomum camphora*).

The trees are located on the locally heritage listed 'St David's Uniting Church' at 1251 Bells Line of Road. The Heritage Inventory Sheet for this property notes the importance of these mature trees to the significance of this Church site. The mature trees also make a significant contribution to the aesthetic significance of the Kurrajong Heights Village.

Comment:

It is understood that this issue has also been addressed separately as part of the traffic amendment, and that there will be no impact on the trees located at 'St David's Uniting Church'.

HERITAGE GUIDELINES OF THE HAWKESBURY DCP 2002

The amended design allows for the proposal to meet the aims and objectives of *Part E, Specific Areas, Kurrajong Heights Village of Hawkesbury DCP 2002*:

Part E, Specific Areas, Kurrajong Heights Village

1.2 General Principles

- to manage change in Kurrajong Heights Village via the implementation of objectives and guidelines that conserve and protect the character and significance of not only individual heritage items but that of the wider village;
- to conserve and enhance the visual and environmental amenity of Kurrajong Heights Village and its hinterland; and
- to ensure that alterations and extensions to existing buildings and new development in Kurrajong Heights Village are compatible in scale, form and character with the character and significance of the village.

Comment:

It is considered that the amended proposal sits comfortably within the Kurrajong Heights Village; the visual scale of the Hotel has been significantly reduced, with the proposal now presenting as an amalgamation of small scale buildings suitable to the prevalent and desired village aesthetic.

1.3 Village Setting and Containment

Aims

- *To retain the character and containment of Kurrajong Heights Village within its landscape.*

Objectives

- *The landscaped setting of the village within its defined topographic space shall be retained.*
- *Major large scale development will not be supported.*

Comment:

The proposal makes no change to the boundaries of the Kurrajong Heights Village. The site itself currently sits vacant and relatively clear of vegetation and therefore makes little contribution to the Village in terms of landscape. The proposal will enhance the landscape qualities of the site. The proposal with its articulated, low-scale presentation is not considered to be a *'major large scale development'*.

1.4 Village Character

Aims

- *To conserve and enhance the historic, visual and environmental elements and townscape qualities that contribute to the distinctive character of Kurrajong Heights Village.*

Objectives

- *Conserve sites, buildings, structures and artefacts that contribute to the character and significance of the village.*
- *Retain the visual amenity of the village.*
- *New development shall not interrupt or destroy the setting of buildings, village, skylines, townscape details and landmarks.*
- *New development shall positively contribute to and reinforce the character of the village. Design principles to be addressed in any new development include:*
 - *relationship to neighbouring buildings;*
 - *line of vision – skyline and setback;*
 - *roof form;*
 - *bulk and scale;*
 - *windows and doors;*
 - *verandas;*
 - *wall and roof finishes;*
 - *fences;*
 - *landscaping;*
 - *architectural detail; and*
 - *car accommodation.*
- *Fencing should maintain character of existing fencing.*
- *Commercial and other advertising signage shall be well located on buildings and sympathetic to traditional techniques and styles.*

Comment:

The proposal is considered to conserve the historic visual elements of the Village, by being appropriately set back allowing the curtilage and views of the surrounding heritage buildings to be maintained. The site's visual impact is considered to have a positive heritage impact on the streetscape by appropriately infilling a currently vacant allotment. The amended development is considered to positively contribute to the character of the Village and has met the design principles for the area as follows:

- The Architectural detail of the Hotels presentation to Bells Line of Road has been thoroughly rethought with a language change. The proposed amendment is considered to employ detailing appropriate to the Village, with the balcony visually representing the traditional verandah and the roof forms speaking to the amalgamation and extension of early buildings.
- The Hotel and accommodation are setback from the street and adjoining sites to allow an appropriate relationship between the surrounding heritage buildings.
- The reduction in the balcony scale and screening has further enhanced the line of vision. The 3D views

clearly illustrate that the line of vision between Heritage items along the Bells line of Road and Warks Hill Road are not negatively impacted by the proposal.

- Reduction of the acoustic screening (at the cost of potential customer numbers), also reduces the apparent mass of the Hotel.
- The new roof form has been broken down into smaller elements to reflect the roof forms within the Village.
- Additionally, this breakdown in roof form visually reduces the bulk and scale of the building.
- The proposed amended windows and doors fit within two languages:
 - the contemporary large format glass, which visually separates the pavilions/ building masses,
 - appropriate solid-to-void ratios to each pavilion with traditionally scaled doors and windows.
- The verandahs have been reduced in scale, broken into two separate elements and reduced in overall width.
- The removal of the balcony roof, removal of acoustic screening to the first-floor balcony and reduction in width of balcony and verandah reduces the overall bulk of the building, allowing the proposed amended balconies to better resemble the verandahs common within the Village.
- The roof and wall finishes to the Hotel have been amended to a suitable grey colour consistent with the Village, and the sandstone wall finish to the front portion of the Hotel, relates to the warm tones of walls within the Village as well as the natural landscape.
- The fencing proposed for both street fronts is a traditional timber picket fence, suitable to the context.
- Landscaping has been amended to retain a larger quantity of the existing trees.
- The car parking has not been amended as its location is the rear of the site, generally hidden from the village streetscape and is considered appropriate.

The proposed signage is located in suitable locations and can be further developed to suit the traditional style suitable within the Village context.

1.5 Heritage Items and New Development

Aims

- *To conserve all the elements which contribute to the character and significance of Kurrajong Heights Village and ensure that new development does not compromise its integrity.*

Objectives

- *The principles of architectural “good manners” should be evident in any new work (alterations/additions to existing buildings) and new development. These principles include:*
 - *relationship to adjoining buildings;*
 - *line of vision - skyline and setback;*
 - *roof form;*
 - *bulk and scale;*
 - *windows and doors;*
 - *verandas;*
 - *wall and roof finishes;*
 - *fences;*
 - *landscaping;*
 - *architectural detail; and*
 - *car accommodation.*
- *Any new work or development must be compatible with and respect the form of existing buildings. The most important aspects of building form include roof type and pitch, verandas and spacing of posts and positioning of windows and doors. By matching sill, head, fascia, wall/roof junction heights and lines old and new may be related.*

Comment:

The amended proposal is not considered to compromise the integrity of the surrounding Heritage Items due to its significant setbacks allowing for the prominence of these items to be retained within the Village streetscape. The principles of good manners are considered to be met, as outlined in the previous section regarding '*design principles*'. The roof, verandahs and positioning of windows and doors within the pavilions are all appropriate to the village character. Generally, the amendment allows the proposal to be compatible with the form of the existing buildings; and respect the Village aesthetic.

1.6 Land Use**Aims**

- *To ensure that land uses in Kurrajong Heights Village are compatible with its special qualities (in particular character and heritage significance) and accordingly reflect the scale of the existing village.*

Objectives

- *"Infill" buildings accommodating new commercial activity must incorporate appropriate design principles such as:*
 - *relationship to adjoining buildings;*
 - *line of vision - skyline and setback;*
 - *roof form;*
 - *bulk and scale;*
 - *windows and doors;*
 - *verandas;*
 - *wall and roof finishes;*
 - *fences;*
 - *landscaping;*
 - *architectural detail; and*
 - *car accommodation.*

Comment:

The use of proposed amended infill building as a hotel and accommodation is considered to be an extremely appropriate use for the Village, as a continuation of its ongoing and growing destination for food, drinks and accommodation, as first established by the Douglass family in 1832. The proposed amendment has taken into account the character and heritage significance of the village, and expressed these appropriately in the amended infill building, as described in detail in the previous comments addressing the '*design principles*'.


CONCLUSIONS

- 27 Douglas Road is **not** listed as an item of heritage significance in any statutory instrument.
- It is located in the vicinity of the listed heritage items at 1259 Bells Line of Road, 1255 Bells Line of Road, 1251 Bells Line of Road and 1A Warks Hill Road, Kurrajong Heights.
- Other listed heritage items in the wider locality are separated from the subject site by intervening roadways, buildings and local topography and have no direct visual connection to the site.
- It is also located within the *Kurrajong Heights Village* as identified within *Hawkesbury DCP 2002 Part E*.
- The proposed amendment allows the Hotel to sit comfortably within the Kurrajong Heights Village, adjoining the neighbouring Heritage Items.
- The amendments' visual breakdown and reduction in scale and apparent bulk allow the proposed Hotel to appear as an amalgamation of smaller buildings, consistent with the character of surrounding buildings and heritage items.
- The proposed development is consistent with the heritage requirements and guidelines of the *Hawkesbury LEP 2012* and the *Hawkesbury DCP 2002*.
- The significance of the Lochiel House, Douglass Cottage, Aylesbury Cottage and Store, and St David's Church, and their ability to contribute to the streetscape and the Kurrajong Heights Village, are retained.
- The amended proposal will have no adverse impact on the significance or character of the Kurrajong Heights Village.

RECOMMENDATION

Council should have no hesitation, from a heritage perspective, in approving this amended development application.

Yours faithfully,
GBA Heritage Pty Ltd



Mariah Hart
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STATEMENT OF HERITAGE IMPACT

27 Douglas Road, Kurrajong Heights

Issue B, March 2022



27 DOUGLAS ROAD, KURRAJONG HEIGHTS

ISSUE	DESCRIPTION	DATE	ISSUED BY
A	Draft for Review	16/12/21	MH
B	Issued for DA Submission	25/03/22	MH

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1.0

INTRODUCTION

1.1 REPORT OVERVIEW

This report has been prepared to accompany a development application for the proposed hotel, accommodation and day spa development at 27 Douglas Road, Kurrajong Heights.

The proposed hotel and accommodation are located on a steeply sloping site, that fronts the land verge onto Bells Line of Road and Warks Hill Road, as well as Douglas Road. The site is located within the heart of Kurrajong Heights Villages and is located within the vicinity of multiple heritage listed items.

The preliminary proposal was submitted to Hawkesbury City Council accompanied by a preliminary Heritage Impact Commentary as part of a Pre-DA package. As part of Pre-DA process a further meeting was held with Heritage Advisor Otto Cserhalmi, on the 9th of August, and with further discussion ensuing via email 24/08/21, and reply on the 27/09/21. These discussions led to a more contemporary approach to the design, that still utilised heritage sympathetic proportions.

This report evaluates the proposed development application, designed by Archebiosis Architects.

This report concludes that, the proposal will have an acceptable heritage impact.

1.2 REPORT OBJECTIVES

The main objective of this Statement of Heritage Impact is to determine the impact of the proposed development on the established significance of the heritage items in its vicinity in relation to the provisions established by Hawkesbury City Council and Heritage NSW (in the Community Engagement Group, Department of Premier and Cabinet).

1.3 METHODOLOGY AND STRUCTURE

This Statement of Heritage Impact has been prepared in accordance with guidelines outlined in the *Australia ICOMOS Charter for Places of Cultural Significance, 2013*, known as *The Burra Charter*, and the Heritage NSW (in the NSW Department of Premier and Cabinet) publication, *NSW Heritage Manual*.



Figure 1.1
Location map showing the subject site outlined in red.
Source: Nearmap 03-09-2020

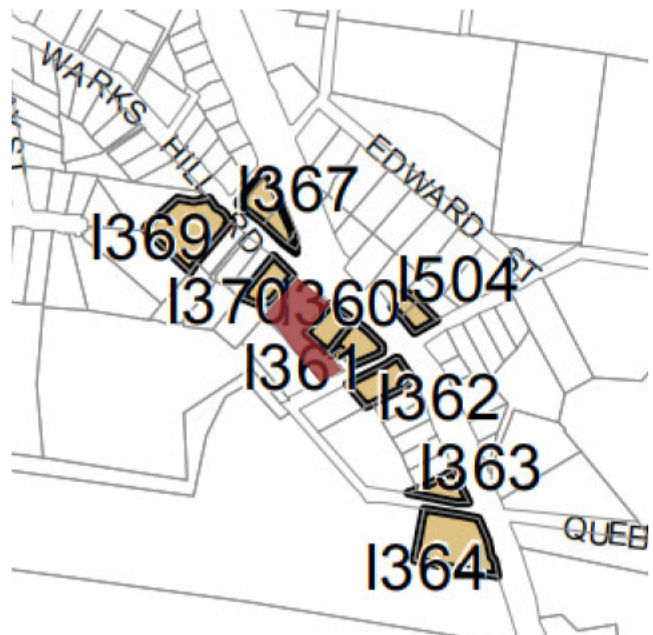


Figure 1.2
Extract from the *Hawkesbury City Council Heritage Map 8A* showing the subject site shaded in red.
Source: NSW Government Legislation website

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The terminology used, particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, is as defined in Article 1 of *The Burra Charter*. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW.

1.4 SITE IDENTIFICATION

The subject site at 27 Douglas Road, Kurrajong Heights, is located on the northwestern side of Douglas Road, and also fronts onto the junction of the south-western side of Warks Hill Road and Bells Line of Road. It is described by NSW Land Registry Services (LRS) as Lot 1, DP 1188572.

1.5 HERITAGE MANAGEMENT FRAMEWORK

The subject property is **not** listed as an item of heritage significance in any statutory instrument.

However, it is located in the vicinity of the following items listed in Schedule 5 of the *Hawkesbury Local Environmental Plan (LEP) 2012*, as items of local heritage significance, the closest being:

- Item I360 – ‘Ivy Cottage’, 1259 Bells Line of Road
- Item I361 – ‘Former Post Office and Store’, 1255 Bells Line of Road
- Item I362 – ‘St David’s Uniting Church’, 1251 Bells Line of Road
- Item I369 – Shop and residence, 1A Warks Hill Road

The currently vacant site is thus located within the small historic village setting of Kurrajong Heights.

Other listed heritage items in the wider locality are separated from the subject site by intervening roadways, buildings and local topography and have little visual connection to the site.

Hawkesbury DCP 2002, Part E identifies the site as located within the *Kurrajong Heights Village, Specific Areas*, and as such is subject to requirements aimed to maintain the unique character and significance of the area.

As such, the property is subject to the heritage provisions of the *Hawkesbury LEP 2012* and the *Hawkesbury Development Control Plan (DCP) 2012* under the *Environmental Planning and Assessment Act 1979*. Hawkesbury City Council must take into consideration the potential impact of any proposed development on the heritage significance of the listed items in the vicinity of the subject site.

1.6 ACKNOWLEDGEMENT OF COUNTRY

GBA Heritage acknowledges the Dhurag people as the Traditional Custodians of the land on which the subject site is located. We recognise their connection to Country, and pay our respects to Elders, past, present and emerging.

1.7 REPORT LIMITATIONS

While this report is limited to the analysis of European cultural heritage values, GBA Heritage recognises that for over forty thousand years or more Aboriginal people occupied the land that was later to be claimed as a European settlement.

Recommendations have been made on the basis of documentary evidence viewed and inspection of the existing fabric.

Archaeological assessment of the subject site is outside the scope of this report.

This report only addresses the relevant heritage planning provisions and does not address general planning or environmental management considerations.

1.8 AUTHORSHIP

This report has been prepared by Mariah Hart, Heritage Consultant, of GBA Heritage and has been reviewed by the Director, Graham Brooks. Unless otherwise noted, all of the photographs and drawings in this report are by GBA Heritage.

1.9 COPYRIGHT

Copyright of this report remains with GBA Heritage.

2.0

HISTORICAL SUMMARY

2.1 BRIEF HISTORY OF THE LOCALITY

Hawkesbury DCP 2013 Part E, Specific Areas contains the following descriptions of Kurrajong Heights Village:

Introduction:

Kurrajong Heights is an important village in the Hawkesbury local government area. The establishment of the village is linked with the discovery of the second route over the mountains. In September 1823, Archibald Bell Junior blazed a route which is virtually that followed by the Bells Line of Road today. Many legacies of the past are still physically evident in the village and tell the story of its evolution. Such legacies contribute to the inherent character and heritage significance of the village....

1.6 Land Use

Land uses in Kurrajong Heights have not significantly changed since the evolution of the village. There has always been a concentration of commercial activity in the village as evident today. Past activity was directed towards the provision of accommodation, refreshment and stabling for travellers and drovers.

Two storeys exist as to how Archibald Bell Jr found the second route over the Mountain. One: he noticed that an escaping Aboriginal Woman, had taken a different path over the Mountain to her Tribe, and is said to have taken her direction¹. Alternatively, he was guided over the Mountain to Mount Tomah by two Aboriginal guides, 'Cocky' and 'Emery'.²

The location of Kurrajong Heights was established as a strategic stopping place when passing along Bells Line of Road over the mountains and proved to be a fertile area allowing for the establishment of farms and orchids that are still prominent in the region today.

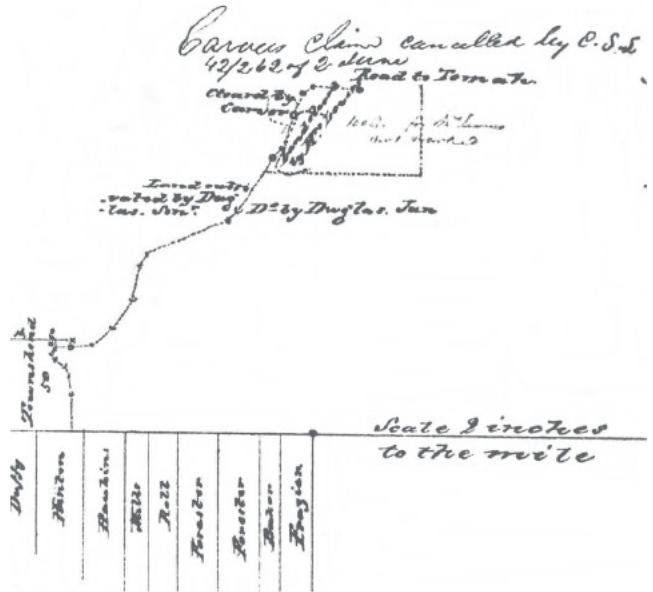


Figure 2.1
1829 sketch by James Richards', showing land cultivated by Douglas, quite separate from all others at that stage along the road to Mount Tomah.
Source: State Records NSW, Surveyor general; CGS 13886, Sketch books, 1828-90; [X751-78], SB1 Folio 79; reel 2778, cited in Patricia Downes Kurrajong Heights Early Surveys, https://members.pcug.org.au/~pdownes/douglass/douglass_surveys.htm,

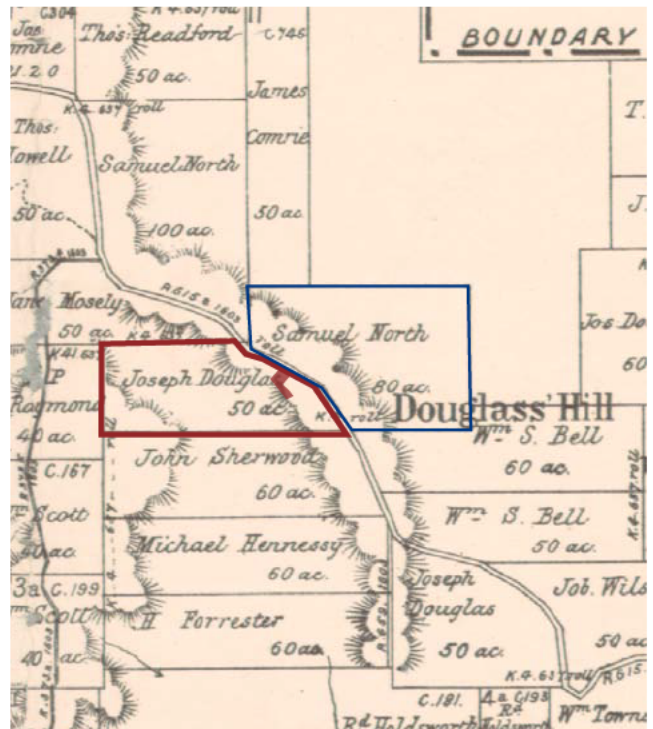


Figure 2.2
Parish Map of Kurrajong, showing Joseph Douglas original 50 acre land grant, outlined in red. Land labeled Samuel North 80 acres, had initially been owned (until 1833) by Orr Douglas (Joseph's Son) (sometimes referred to as 'Orville') shown outlined in blue. The approximate location of the site is shaded in red.
Source: State Library NSW, Lewis, G., & New South Wales. Surveyor-General. (1881). Parish of Kurrajong, County of Cook, land district of Windsor [cartographic material] / [Surveyor General's Office] (1st ed.) ed.). Sydney: Surveyor General's Office.

1 Bell, Archibald, Australian Dictionary of Biography, https://www.discoverthehawkesbury.com.au/_data/assets/pdf_file/0006/138138/BLR-combined-web.pdf
2 Hawkesbury Historic Roads, Bells Line of Road, Hawkesbury Visitor Information

2.2 EARLY OWNERSHIP OF THE SITE

Kurrajong Heights was first settled by Joseph Douglass and his family sometime between 1825 and 1828, see figure 2.1. Joseph Douglass was transported to Australia as a Convict for allegedly stealing a watch and two pieces of cloth. Once a free man, Joseph was able to obtain passage for his family to join him in Australia. In 1824, Joseph successfully partitioned for 50 Acres of land. In 1825, he requested that this land be located on the Bells Line of Road; Joseph Douglass official land grant documents for the property are dated 1867. Additionally, one of Joseph Douglass Son's, Orr Douglass, was granted 80 Acres on the opposing side of Bells Line of Road.

By 1829, Joseph reported to surveyor James Richards that they had felled 30 of Joseph's 50 acres, erected a dwelling and a barn, as well as felling 10 acres of Orr Douglass' (Joseph's Son) grant, half of which was under cultivation. This dwelling built by Joseph Douglass being the Heritage-listed neighbouring 'Ivy Lodge' located at 1259 Bells Line of Road. The Douglass family obtained much land in the area, which they cleared and farmed, which included a total of 190 acres by 1932. At this time the location of Kurrajong Heights was known as Douglass Hill. Douglas Road is said to be named after the Douglass family but, an error occurred removing the second 's' from the end of the family name.

Joseph and his wife Mary applied for a publican license in 1832, at which time 'Ivy Lodge' underwent additions to allow for travellers accommodation.³ Ivy lodge was never utilised as a public house, however, by 1834 was established as a guest house and restaurant.

In 1841, Samuel North (who now owned Orr's original grant) and Joseph Douglass subdivided the 80 Acres of Samuel North's property and approximately 8 acres of Joseph's Farm to form a Village named Northfield.⁴ This subdivision allowed for the village of Kurrajong Heights to start taking shape.

After Mary's passing, one of the Douglass sons, John and daughter-in-law Ellen, took over the running of Ivy Lodge. In 1867, Douglass Cottage was built by John as an extension to the accommodation provided; oral history tells that this building was prefabricated kit brought out from England.⁵



Figure 2.3

Engraving of the view of Douglass Hill, NSW

Source: National Library of Australia, View of Douglass Hill, near Richmond, New South Wales [picture]. Published 1857, nla.obj-138445646



Figure 2.4

Circa 1900s image of Ivy Lodge, then Post office, and Douglass Cottage behind.

Source: Hawkesbury Library, Image No.5049. Kurrajong Heights Post Office Circa 1900. Operated here 1875. Originally known and 'Ivy Lodge' built by Joseph Douglass in 1820s.

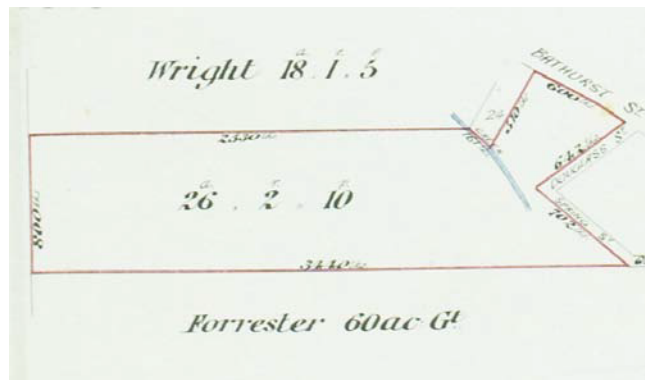


Figure 2.5

Sketch excerpt from 1867, showing the subject land on which Ivy Lodge and Douglass Cottage and the Douglass farm existed after 18 acre subdivision to William Wright.

Source: Historical Land Records Viewer, Vol 46, Folio 23

3 Downes, Patricia. Joseph Douglass 1782-1865, First Settler at Kurrajong Heights NSW, 2004, <https://members.pcug.org.au/~pdownes/douglass/index.htm>

4 NSW Department of Lands, plan FP192247 (ex-roll plan 326) Charles Whitakers plan, Northfield village 1841, cited in Downes, Patricia. Joseph Douglass 1782-1865, First Settler at Kurrajong Heights NSW, 2004, <https://members.pcug.org.au/~pdownes/douglass/index.htm>

5 Poole, Arthur, The Millstone, Vol3, iss 10, May-Jun 2005, Kurrajong-Comleroy History Society, p.4

In May of the same year, 1867, John Douglass subdivided off an additional 18 acres of land, see figure 2.5 to William Wright on which 'Belmore Lodge' was constructed, which was also established as a guest house.

BOWMAN AND CAMERON

Only a year after the construction of Douglass Cottage, in 1868, John Douglass sold the property which included Douglass Farm, Ivy Lodge and Douglass Cottage, to George Bowman (William Bowman's brother, see the following section) of Richmond, ending the Douglass' association with the land.

George Bowman onsold the property in 1875 to his daughters and their husbands (as their dowry); James Cameron (Reverend) and wife Eliza Sophia Cameron (nee Bowman) and Doctor Andrew Robertson Cameron and wife Mary Ann Cameron (nee Bowman).⁶ Dr Andrew Cameron and wife Mrs Mary Cameron passed away only a year after their marriage and moving to Douglass Cottage. It is believed to be around this time that Ivy Lodge was renamed Lochiel House after the homeland of the Cameron Clan. James and Eliza lived out their lives at Douglass cottage. James being Reverend of neighbouring St David's Presbyterian, and instated John Liedich as postmaster at Ivy Lodge.

WALKER

After the passing of Rev. James Cameron in 1905, the subject property was purchased by Mary Bowman Lamrock (1906) wife of orchardist John Lamrock, and quickly onsold to Thomas Walker, postmaster and Orchardist in 1907.⁷ Ivy Cottage remained the post office until approximately 1918, when the post office and store transferred to Douglass Cottage⁸.

The Walker family maintained ownership of the subject portion of the land, Douglass cottage and Ivy Lodge until 1949. Two subdivisions occurred during their ownership that divided off the majority of the rear farmland, first in 1921 to Frank Carl Peck,⁹ secondly in 1930 (larger portion of the Farm) to Professor Eben Gowrie Waterhouse of Gordon¹⁰. Professor Eben Gowrie Waterhouse established a Camellia Grove Nursery¹¹ with Spencer Scott & Sons on the land.

6 HLRV, Fol 79 Fol 186

7 HLRV, Vol 1724, Fol 207

8 Kurrajong-Comleroy Historical Society, notes on Photograph of Douglass Cottage, Ref.022902, Kurrajong Heights, Circa 1904.

9 HLRV, Vol 1724, Fol 207

10 HLRV, Vol 4392 Fol 19

11 W. M. O'Neil, 'Waterhouse, Eben Gowrie (1881–1977)', Australian Dictionary of Biography, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/waterhouse-eben-gowrie-8991/text15827>, published first in hardcopy 1990, accessed online 6 January 2021.



Figure 2.6
Circa 1910 image of Ivy Lodge, then Post office, note: telephone both right hand corner of the image.

Source: Hawkesbury Library, Image Number: 5050. Kurrajong Heights Post Office, Circa 1910s.



Figure 2.7
Circa 1980s image of Ivy Lodge, then Gallery.

Source: Hawkesbury Library, Image No. 23064, Circa 1980, Lochiel House or Ivy Lodge, Bells line of Road, Kurrajong Heights



Figure 2.8
Circa 1980s image of Douglass Cottage, The Post Office, General store and service stations.

Source: Hawkesbury Library, Image No.23092, Post office and Store C1980, Bells line of road, Kurrajong Heights. Early example of prefabricated building shipped out from England.

Percy Freeman took ownership in 1949, and in 1959 the land was subdivided into Lot A being Douglass Cottage/ post office and store, and Lot B containing Ivy Lodge/Lochiel House and the subject land.¹²

The land was further subdivided in 1972, separating the subject land from Lochiel house (DP 558605), allowing for the construction of the dwelling at 29 Douglass Road. The subject site was approved for separation from No. 29 Douglas Road in 2008, however the subdivision was not completed until 2013 (DP 1188572).

Douglass Cottage remained the general store with refreshments and petrol station into the mid-2000s, however by 2008 was closed and left in disrepair. 2013 saw the approval of renovation and reconstruction (having been affected by fire) of the cottage allowing for the current use as an Indian restaurant, and addition of shops on-site (now IGA).

Ivy Lodge was utilised as a Gallery in 1980s, in the mid 1990s it was converted to a cafe, and now houses an upmarket restaurant, with the coach house at the rear of the site converted to guest accommodation in 2018.

2.3 BRIEF HISTORY OF NEIGHBOURING HERITAGE LISTED STRUCTURES

St David's Presbyterian Church was built in 1867, the same year as Douglass Cottage, on land donated by William Bowman. William Bowman had purchased much land within the Northfield Village, 1841 subdivision. The Bowman brothers William and George (who purchased Douglass property in 1868) had strong associations with the church. See figure 2.6.

Neighbouring Aylesbury Cottage and Tellings Store, also known as The Heights Cafe (Shop and Residence at 1A Warks Hill Road) is said to have been built in 1870-80, and was the first general store and petrol bowser (Shell C.1929) in Kurrajong Heights.¹³ The shop front and roof lines are captured in many early (C.1910-20) photographs of Kurrajong Heights Village, see figure 2.7 and 2.8. Until the early 2010s the store remained as a shopfront, selling Opals and Gems, as well as being an "Opal Museum".

The construction date of Patrick Pressior (1271-1275 Bells Line of Road) is unknown, but can also be seen in early photographs of the area (C.1910-20) see figure 2.7.



Figure 2.6

Early image of St David's Presbyterian Church

Source: State Library of NSW, Church Kurrajong Government Printing Office 1-18212, FL 1872161- d1_18212h



Figure 2.7

Image looking down Warks Hill Road C.1900s showing neighbouring Heritage listed dwellings.

Source: Warks Hill Road, Kurrajong Heights. At right in the middle distance can be seen the Kurrajong Heights Post Office, Lochiel (earlier known as Ivy Lodge) and the Telling General Store. - The Millstone, Kurrajong Comleroy Historical Society, Vol 3, Issue 12 Sept-Oct-2005



Figure 2.8

Image looking down Warks Hill Road (then still Bells Line of Road, realigned in 1940's), showing dwellings and fencing and barns.

Note it appears that a structure is located in between Ivy Lodge, and Tellings general store, possibly located on the subject lot.

Source: Hawkesbury Library, Images, Image No. 005508, View of Lochiel house and post office at Kurrajong Heights

¹² HLRV, Vol 4407, Fol 106

¹³ Poole, Arthur, The Millstone, Vol3, iss 10, May-Jun 2005, Kurrajong-Comleroy History Society, p.7

Allambie cottages are said to have been joined and established as a guesthouse in the 1930s by F. Peck & Sons¹⁴. Whether initial construction was also under the ownership of Peck family or previous owners is unknown. In 1937 Allambie was sold to Kurrajong Heights Hotel Pty Ltd,¹⁵ and utilised as guest house accommodation. The Kurrajong Heights Hotel, had been constructed further along Bells Line of Road c.1928 by Mr F.C. Peck in the current location of Archibald Hotel, this large establishment burnt to the ground in 1975.



Figure 2.9

Extract of 1933 image of the Kurrajong Heights Hotel

Source: *Kurrajong Heights Hotel, aerial view of the hotel and its surrounds 1933, The Millstone Vol 12, Issue 3, May-June 2014, Kurrajong-comleroy Historcial Society*



Figure 2.10

Aerial Image of the Kurrajong Height Village 1965, the subject site is outlined in red. Note lack of vegetation upon the site and landscape verge.

Source: *Historical Imagery Viewer, 1965 09 23- 1409_07_172.jp2*

¹⁴ Ibid

¹⁵ Heritage NSW Inventory, House- 1256 Bells Line of Road, Kurrajong Heights, Database No: 4309664

3.0

SITE DESCRIPTION

3.1 VILLAGE CONTEXT

Hawkesbury DCP 2013 Part E, Specific Areas contains the following descriptions of Kurrajong Heights Village:

1.3 Village Setting and Containment:

Since the 1880's there has been limited growth in Kurrajong Heights Village. This growth has resulted in the village being low scale and set within a landscaped rural/residential setting. Significant impressions of the village and its setting are obtained from the Bells Line of Road. The location of the village on the main and secondary ridge and its containment by surrounding undulating lands and bush can be clearly seen from the Bells Line of Road. The Bells Line of Road and the steepness of the topography reinforce of the containment of the village.

The village contains a combination of low-scaled historical buildings dating from 1820's to 1930s and a commensurate variation in Architectural style. Infill development includes the more recent IGA located at the corner of Douglas Road and Bells Line of Road, and single and two-storey residential development.

The village maintains landscaped surroundings and setbacks, often with introduced cottage style species typically surrounding the traditional homes. However, the commercial areas are less consistently landscaped, with Douglass Cottage and Lochiel house having narrow street setbacks.

Kurrajong Heights is known for its scenic vistas into the surrounding valleys. The site's location set being relatively high set along the ridgeline of Bells line of Road and slopes steeply to the south-west. The site is setback from the main road by a significant land verge at the corner of Bells line of Road and Warks Hill Road.



Figure 3.1
Streetview Image showing the approach to the site along Bells Line of Road. St Davids Church to the left hand side.
Source: Google Streetview, Oct 2019



Figure 3.2
Streetview Image showing IGA, Douglass Cottage and Ivy Lodge looking towards the subject site along Bells Line of Road.
Source: Google Streetview, Oct 2019



Figure 3.3
Streetview Image showing Ivy Lodge looking towards the subject site along Bells Line of Road.
Source: Google Streetview, Dec 2020

3.2 DESCRIPTION OF THE SITE

27 Douglas Road is a comparatively large 'L' shaped block that wraps around the rear of neighbouring Lochiel House and Douglass Cottage. The site fronts onto both Douglas Road and Warks Hill Road, at its junction with Bells Line of Road. A land verge exists at the Warks Hill frontage distancing the block from Bells Line of Road.

The site slopes significantly, with an approximate drop of 8 meters from the northern corner at Warks Hill Road, to the south-western corner of Douglas Road; and has an area of 3923 meters squares (by DP).

The site currently contains brick foundations of a commercial development that was never completed, started in the early 1990's.



Figure 3.6
Streetview Image looking towards the site, from the in front of Tellings Store at 1A Warks Hill Road.
Source: Google Streetview, Oct 2019



Figure 3.4
Streetview Image showing the site's immediate context, on the approach up Bells Line of Road. Note established vegetation in front of the site, located on the land verge.
Source: Google Streetview, Oct 2019



Figure 3.7
Southward view looking across the subject site, towards coach house at the rear of Lochiel House



Figure 3.5
Streetview Image showing the site's immediate context, from the junction of Warks Hill Road and Bells Line of Road.
Source: Google Streetview, Oct 2019



Figure 3.8
Streetview Image of the subject site from the Douglas Road frontage.
Source: Google Streetview, Jun 2014

4.0

DESCRIPTION OF THE PROPOSAL

The proposed development, designed by Archibiosis Architects, is detailed in the plans and Statement of Environmental Effects accompanying this application. It includes:

- Demolition of existing brick footings from the previously proposed development (1990s).
- Construction of two-storey hotel fronting Bells Line of Road and Warks Hill Road, the hotel includes lower ground level, with back of house, and parking areas.
- Construction of Carparking to accommodate both the Hotel and accommodation.
- Construction of accommodation and day spa on the rear of the site over the carparking facilities, fronting Douglas Road.

The aim of the proposal is to provide contemporary Hotel and accommodation within the heritage precinct of Kurrajong Heights Village, while retaining the character and charm of the Village.

The proposal utilises overall proportions typical of a Georgian Hotel to help the proposal blend with the established character of the surroundings while being of contemporary material, finishes, and detailing. Likewise, the Accommodation Cabins facing Douglas Road have utilised a simple gabled form to relate to the character of barns and outbuildings typically located at the rear of Village sites. The development works with the significant slope on-site and steps down the site accordingly to maintain an appropriate scale.



Figure 6.1
The proposed street facing perspective render of the Hotel, facing Bells Line of Road.

Source: Archibiosis Architects, Kurrajong Heights Hotel and Accommodation, 3D image, front hotel and tea garden

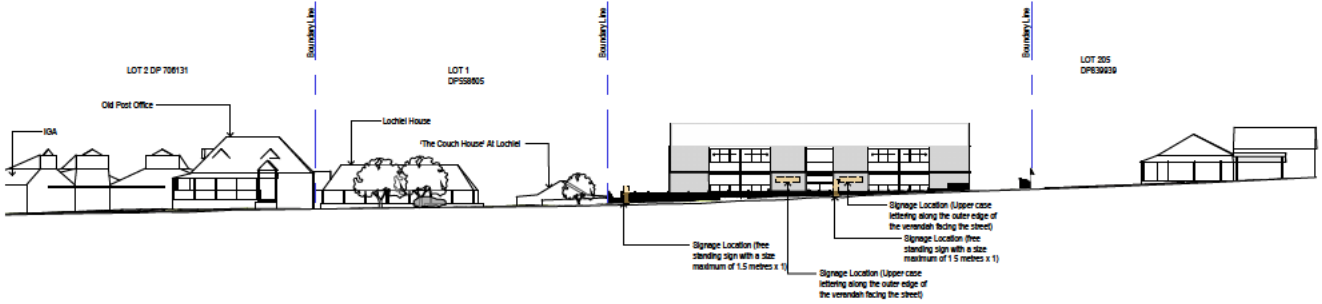


Figure 6.2 (above)
 Proposed streetscape elevation, facing Bells Line of Road
 Source: Archibiosis Architects, Kurrajong Heights Hotel and Accommodation, Streetscape Elevation - Hotel SK202, Issue 1, 17/03/22 (not to scale)

Figure 6.3 (below)
 Proposed east elevation, streetscape to Douglas Road.
 Source: Archibiosis Architects, Kurrajong Heights Hotel and Accommodation, East Elevation - Accommodation, SK204, Issue 1, 17/03/2022 (not to scale)

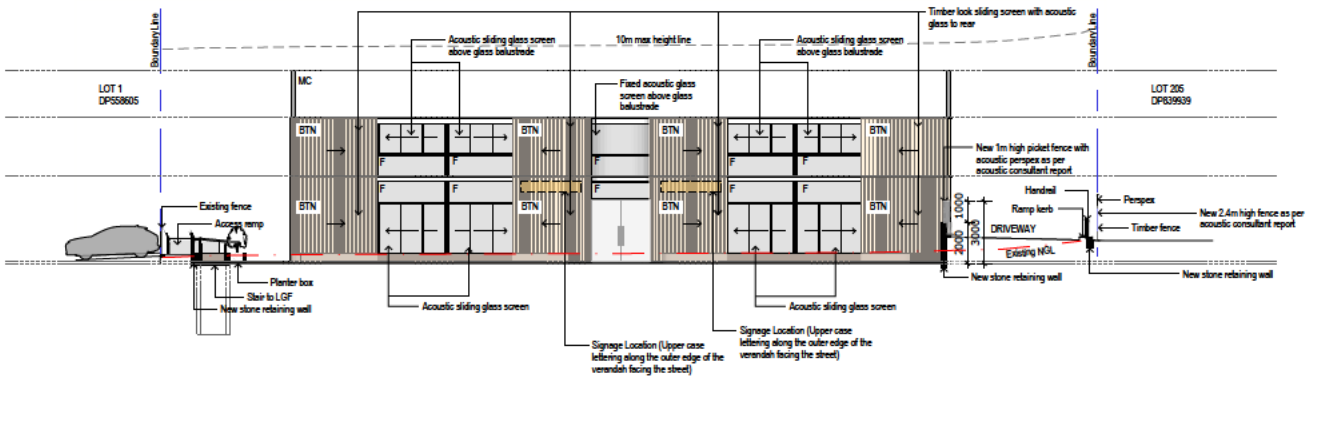
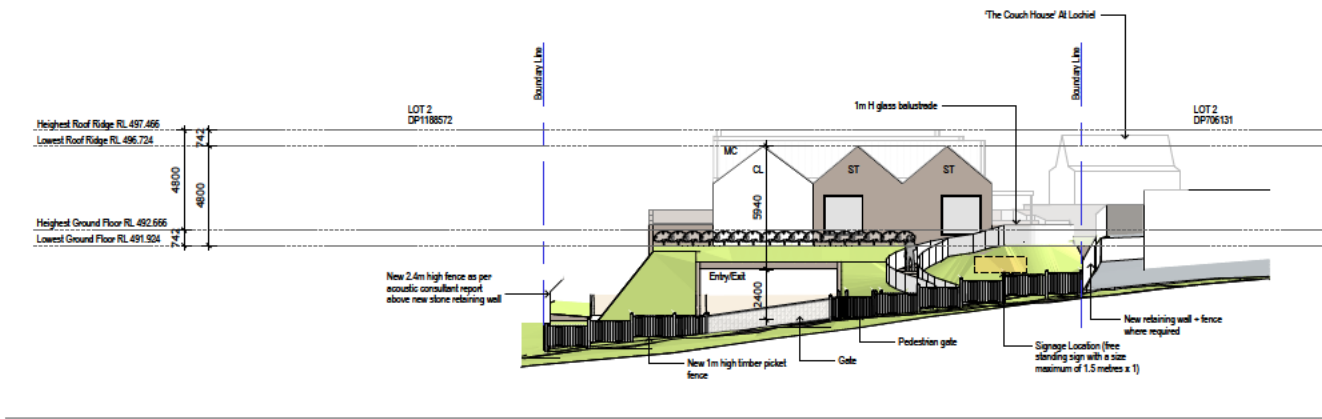


Figure 6.4 (above)
 Proposed northern elevation, facing Bells Line of Road
 Source: Archibiosis Architects, Kurrajong Heights Hotel and Accommodation, North Elevation - Hotel SK200, Issue 1, 17/03/2021 (not to scale)

Figure 6.5 (below)
 Proposed western elevation, showing the Hotel stepping down the site.
 Source: Archibiosis Architects, Kurrajong Heights Hotel and Accommodation, West Elevation - Accommodation, SK200, Issue 1, 17/03/22 (not to scale)

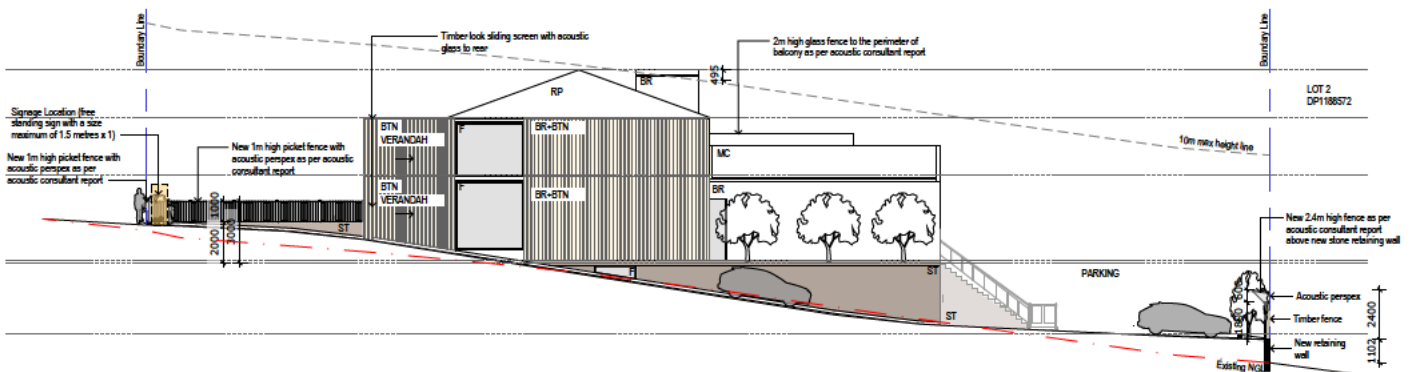




Figure 6.6 (above)
 Proposed Site Plan, with overlay showing view corridors to neighbouring heritage items.
 Source: Archibiosis Architects, Kurralong Heights Hotel and Accommodation, Proposed Site Plan, SK101, Issue 1, 17/13/22 (not to scale)

Figure 6.7 (below)
 Proposed Finishes Schedule
 Source: Archibiosis Architects, Finishes Palette, 27 Douglas Road, Kurralong Heights



5.0

ASSESSMENT OF HERITAGE IMPACT

5.1 INTRODUCTION

This Statement of Heritage Impact has been prepared in relation to the following impact assessment criteria, the *Hawkesbury Local Environmental Plan (LEP) 2012*, the *Hawkesbury Development Control Plan (DCP) 2002* and Heritage NSW (in the NSW Department of Premier and Cabinet) guidelines, *Altering Heritage Assets and Statements of Heritage Impact*.

This section of the report provides a detailed analysis of the statutory controls applying to this site, with regard to heritage.

Figure 7.1

Aerial photograph showing the subject site, outlined in red, and the listed heritage items in the vicinity

Source: maps.au.nearmap.com



5.2 ESTABLISHED SIGNIFICANCE OF THE HERITAGE ITEMS IN THE VICINITY OF THE SUBJECT SITE

There are a number of individually listed heritage items in the vicinity of the subject site. These are listed as items of local heritage significance on Schedule 5 of the *Hawkesbury LEP 2012*.

The analysis in this report focuses on the impact of the proposed development on neighbouring Lochiel House (1259 Bells Line of Road), Post Office and Store (1255 Bells Line of Road), Shop and Residence (1A Wark Hill Road) and St David's Uniting Church (1251 Bells Line of Road) being the closest items. The other listed heritage items in the wider locality, including Allambie Cottages (1256 Bells Line of Road), Patrick Pressior (1271-1275 Bells Line of Road) and Belmore Lodge (9 Wark Hill Road), are physically and visually separated from the subject site by intervening roadways, buildings and local topography.

The NSW Heritage Inventory contains the following information for these items; a statement of significance is not included within their listings.

Address	Description / Name	LEP Item no.	NSW Heritage Database no.
1259 Bells Line of Road, Kurrajong Heights	Ivy Cottage (Formerly Lochiel), Other names Ivy Lodge, Lochiel	360	1741832
1255 Bells Line of Road, Kurrajong Heights	Post Office and Store (Former)	361	1741846
1A Warks Hill Road, Kurrajong Heights	Shop and Residence	369	1743175
1251 Bells Line of Road, Kurrajong Heights	St David's Uniting Church	362	1743148

Therefore the below brief statements have been prepared to further acknowledge the significance of the surrounding Heritage Items:

Description/ Name	Statement of Significance
Ivy Lodge, Lochiel House	Ivy Lodge was the first dwelling and farm established at Kurrajong Heights (between 1825 and 1828) by Joseph Douglass and his family and quickly became a guesthouse servicing Bells Line of Road travellers. The site holds historical significance to early landholdings, subdivisions and Kurrajong Heights prominence as a guesthouse and retreat area. The Colonial Georgian lodge holds aesthetic and potentially technical significance in its early construction techniques. Ivy Lodge has a strong connection with the community as a guesthouse, post office, gallery and cafe and has since returned to its secondary use as a restaurant and guesthouse.
Post Office and Store, Other names: Douglass Cottage	Douglass cottage was established by John Douglass (son of Joseph Douglass) in 1867 as an extension to Ivy Lodge Guesthouse. Douglass cottage was later utilised as a residence with strong connections to neighbouring St David's Presbyterian Church and for the majority of the 19th century as a post office and general store. The Victorian Georgian style holds a strong aesthetic presence on Bells Line of Road and an ingrained connection to Kurrajong Heights community.
Shop and Residence, Other names: Aylesbury Cottage and Tellings Store or The Heights Cafe	Tellings Store, and attached Aylesbury cottage, circa. 1870-80s, was the first general store in Kurrajong Heights and remained a shop until the early 2010s. It is likely to hold associations with the community of Kurrajong Heights and the Tellings Families long association with the store.
St David's Presbyterian Church	The first Church established in Kurrajong Heights in 1867 on land donated by William Bowman, purchased as part of the 1841 'Northfield' subdivision. The church's construction was funded by many of the families associated with the early establishment of Kurrajong Heights, including the Bowmans, Comrie, Douglass, Lamrock, Walkers and Peck. The Victorian Rustic Gothic Church has picturesque values to Bells Line of Road. The Church likely holds a strong community connection within the Kurrajong Heights area.

Other listed heritage items in the wider locality are separated from the subject site by distance, buildings and local topography, and have no direct visual connection to the site.

5.3 CONSIDERATION OF THE GUIDELINES OF HERITAGE NSW

Heritage NSW (in the NSW Department of Premier and Cabinet) has published a series of criteria for the assessment of heritage impact. The relevant 'questions to be answered' in the *NSW Heritage Manual* 'Statements of Heritage Impact' guidelines relating to development adjacent to a heritage item have been considered in the preparation of the following commentary; they are:

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

- The design form, style, scale and siting have all been selected to suit the character and minimise the presence of the proposed buildings, set amongst Heritage-listed items.
- The significance of the Lochiel House, Douglass Cottage, Aylesbury Cottage and Store, and St David's Church, and their ability to contribute to the streetscape and the Kurrajong Heights village, will be retained.
- *How is the impact of the new development on the heritage significance of the item or area to be minimised?*
- *Why is the new development required to be adjacent to a heritage item?*
- *How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?*
- *How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?*
- *Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?*
- *Will the additions visually dominate the heritage item? How has this been minimised?*
- *Will the public, and users of the item, still be able to view and appreciate its significance?*
- The building envelope is almost centred within the block, allowing considerable setbacks to the neighbouring properties.
- The front of the hotel acknowledges its context within Kurrajong Heights Village by using Colonial Georgian proportions with 2 storey front verandah and symmetrical facade; while being of clearly contemporary design.
- Multiple iterations have been undertaken to work with the proposed hotel's form and the site slope to reduce the proposals bulk and scale while still achieving the function required for a successful contemporary Hotel.
- The proposed accommodation and day spa on the rear of the site is broken into smaller scale cabins with a roof pitch that provokes the image of a rural barn or outbuildings on-site; relating to the rural village context.
- The fencing to the street front boundaries maintains the established low-line front fencing character of the area.
- There will be no changes to the existing curtilage around the heritage items in the vicinity.
- The proposed new development will be evidently contemporary in design, however, it will be in keeping with the general scale and character of the Kurrajong Height village and is, therefore, considered sympathetic to the heritage items in its vicinity.
- Though the proposal is ever so slightly taller than neighbouring buildings, the design development, setbacks, and modern character separates the proposal from the neighbouring items; therefore, it is not considered visually dominant to the public domain.
- The neighbouring heritage items and their significance within the streetscape of Kurrajong Heights Village will be maintained.

The following aspects of the proposal respect the heritage significance of the adjacent heritage items;

- The hotel is set back on the block almost behind its neighbours to ensure the views are maintained to and from the neighbouring Heritage listed properties from the public domain.
- This generous front setback helps reduce the scale of the proposed building to the streetscape.

5.4 HERITAGE OBJECTIVES OF THE HAWKESBURY LEP 2012

The proposed development is considered to be acceptable, from a heritage perspective, for the following reasons:

- The design steps down the sloping terrain, maintaining an appropriate two-storey scale.
- The hotel has been set back from the streets primary building alignment to maintain views to and from the adjacent heritage items, and to protect their visual setting.
- The significance of Ivy Lodge, Post Office and Shop, Shop and Residence and St David's Uniting Church along Bells line of Road, and their ability to contribute to the streetscape and the Kurrajong Heights Village, will be retained.

The proposal is, therefore, considered to be consistent with the relevant heritage objectives of the *Hawkesbury LEP 2012*, which are:

4.3 Height of buildings

- (1) *The objectives of this clause are as follows:*
- (d) *to ensure an appropriate height transition between new buildings and heritage items.*

5.10 Heritage conservation

(1) Objectives

The objectives of this clause are as follows:

- (a) *to conserve the environmental heritage of Hawkesbury,*
- (b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*

5.5 HERITAGE GUIDELINES OF THE HAWKESBURY DCP 2002

The proposed development is generally consistent with the guidelines of the *Hawkesbury DCP 2002* that relate to development adjacent to heritage items:

Part C, Signs,

3.2 Signs in Commercial and Industrial Zones

Aim

- *To permit adequate business identification and advertising to identify the nature of the business conducted on the premises.*

Objectives

- *The design and location of signs are to:*
 - *be integrated and in proportion with the architecture and structure of the host building;*
 - *be placed to ensure that architectural features of the building, views or vistas are not obscured;*
 - *consider existing signs to avoid visual or physical clutter; and*
 - *avoid obstruction of pedestrian access or line or sight of vehicular traffic.*
- *Signs shall be simple, concise and uncluttered in appearance. Emphasis should be on clarity of communication.*

Comment: The proposed signage identifies the proposed business and business entries for clear way-finding. The proposed signage has been integrated into the building design, where possible, to avoid obscure building features, views or sightlines.

Part C, Heritage Conservation,

10.2 Objectives

The primary objectives of this Chapter are:

- To promote and protect the Hawkesbury area's natural and cultural heritage as a valuable resource that must be conserved for future generations.*
- To consider the potential heritage significance of all properties identified in the LEP Heritage Map and other applications as a matter to be taken into account in the assessment of DAs affecting those properties.*
- To integrate conservation and management issues into the planning and development control process.*
- To ensure that any development with respect to a heritage site is undertaken in a manner that is sympathetic to, and does not detract from the identified significance of the site.*
- To encourage innovative approaches to the conservation of Hawkesbury area's and heritage sites and to provide incentives for good management practice;*

Comment: The proposed hotel and accommodation has been designed to sit comfortably within the Kurrajong Heights village context. The hotel has been set back from the streets primary building alignment to maintain views to and from the adjacent heritage items and protect their visual setting. In doing so, the visual scale of the building is reduced; the setback also allows for additional landscaping and gardens to soften and activate the Warks Hill Road/Bells Line of Road frontage.

The hotel's contemporary design acknowledges its context by utilising proportions and balance derived from Colonial Georgian style, typical within the Kurrajong heights village. Additionally, the rear accommodation and day spa style acknowledges the barn style, typical to the rear of rural villages, sympathetic to the neighbouring coach house located at the rear of Ivy Lodge/ Lochiel House.

The proposed development is considered to form little impact on the neighbouring heritage items.

10.5.8 Development in the vicinity of a Heritage Item or Conservation Area.

Controls

- a) *Where Development is proposed on land adjacent to or within the vicinity of a heritage item, or a heritage conservation area the following should be taken into consideration to ensure that it will compliment the identified significance of the heritage item or the heritage conservation area:*
- b) *The character, siting, bulk, scale, height and external appearance of the development.*
- c) *The visual relationship between the proposed development and the heritage item or heritage conservation area.*
- d) *The potential for overshadowing of the adjoining heritage item or any building within a heritage conservation area.*
- e) *The colours and textures of materials proposed to be used in the development.*
- f) *The landscaping and fencing of the proposed development. Allowance for suitable deep rooted landscaping such as trees is important in conservation areas and adjacent to heritage items.*
- g) *The location of car parking spaces and access ways into the development.*
- h) *The impact of any proposed advertising signs or structures.*
- i) *The maintenance of the existing streetscape, where the particular streetscape has significance to the heritage item.*
- j) *The impact the proposed use shall consider the amenity of the heritage item.*

- k) *The effect the construction phase will have on the well being of a heritage item.*
- h) *Avoid making a replica of a heritage building for infill development.*
- l) *Development should retain and enhance any significant views to and from the heritage item or heritage conservation area and any public domain area.*
- m) *New development adjoining or adjacent to a heritage item should avoid incorporating large unbroken wall areas.*

Comment: As described above, the character, site and bulk of the proposed hotel and accommodation are considered to work with the surrounding heritage items. The proposal is considered to retain views to and from neighbouring items due to the appropriate generous setback to the proposal. This setback and considered design proposal are considered to have little effect on the heritage items within the vicinity.

The proposed hotel's shadow primarily shades the proposed carpark on the site, and neighbouring carpark on Locheil site, and is therefore considered acceptable.

The proposed colour and finishes are of light to white tones with natural colours and textures integrated into the overall development. These colours are considered suitable within the Kurrajong Heights Village area, and adjacent to Heritage items, of which are also predominately light shades, of differing tonal qualities.

The landscaping proposed integrates suitable species, being a mixture of natives, English cottage garden style, and fruit trees all considered suitable to the context and history of Kurrajong Heights Village. The landscaping has been designed and located to help soften the new development within its heritage context.

The carparking is suitably located at the rear of the proposed development, with access from both street frontages. The proposal is considered to increase the streetscape presentation of 27 Douglas Road.

Part E, Specific Areas, Kurrajong Heights Village

1.2 General Principles

- *to manage change in Kurrajong Heights Village via the implementation of objectives and guidelines that conserve and protect the character and significance of not only individual heritage items but that of the wider village;*
- *to conserve and enhance the visual and environmental amenity of Kurrajong Heights Village and its hinterland; and*
- *to ensure that alterations and extensions to existing buildings and new development in Kurrajong Heights Village are compatible in scale, form and character with the character and significance of the village.*

Comment: The proposed development is considered to increase the amenity of Kurrajong Heights, expanding upon the well-established food, beverage and accommodation options. The character and form of the proposed hotel and accommodation take references from the surrounding village character and is therefore considered suitable.

1.3 Village Setting and Containment

Aims

- *To retain the character and containment of Kurrajong Heights Village within its landscape.*

Objectives

- *The landscaped setting of the village within its defined topographic space shall be retained.*
- *Major large scale development will not be supported.*
- *Small scale development within the escarpment area shall be designed and constructed to blend with the landscape.*

Comment: As mentioned above, the character of surrounding development has influenced the style of the proposed hotel and accommodation. The scale of the development maintains a two-storey scale, stepping down the sloping site. The landscaping proposed aims to integrate with the village setting of Kurrajong heights.

1.4 Village Character

Aims

- *To conserve and enhance the historic, visual and environmental elements and townscape qualities that contribute to the distinctive character of Kurrajong Heights Village.*

Objectives

- *Conserve sites, buildings, structures and artefacts that contribute to the character and significance of the village.*

- *Retain the visual amenity of the village.*
- *New development shall not interrupt or destroy the setting of buildings, village, skylines, townscape details and landmarks.*
- *New development shall positively contribute to and reinforce the character of the village. Design principles to be addressed in any new development include:*
 - *relationship to neighbouring buildings;*
 - *line of vision – skyline and setback;*
 - *roof form;*
 - *bulk and scale;*
 - *windows and doors;*
 - *verandas;*
 - *wall and roof finishes;*
 - *fences;*
 - *landscaping;*
 - *architectural detail; and*
 - *car accommodation.*
- *Fencing should maintain character of existing fencing.*
- *Commercial and other advertising signage shall be well located on buildings and sympathetic to traditional techniques and styles.*

Comment: The proposed hotel development is sited back almost behind the neighbouring heritage items fronting Bells Line of Road and Warks Hill Road, allowing the views and visual amenity to the items to be maintained. The proposed design has been utilised characteristics of the village to fit in with the historic village setting. The front fencing to Bells line of Road and Douglas Road continues the low height picket style, utilised within the village. The rear fencing maintains the timber style typical of the area, this is then topped in such a way as to reduce visual and acoustic impacts to the neighbouring properties. As mentioned, the landscaping proposed aims to integrate with the village setting of Kurrajong heights, and soften the view of the new development within the village. Vehicular accommodation is located at the rear of the site, and within undercrofts, reducing its impact on the village streetscape. The building signage is sympathetically located, with sympathetic detailing to be further considered at the construction certificate stage.

1.6 Land Use

Aims

- *To ensure that land uses in Kurrajong Heights Village are compatible with its special qualities (in particular character and heritage significance) and accordingly reflect the scale of the existing village.*

Objectives

- *“Infill” buildings accommodating new commercial activity must incorporate appropriate design principles such as:*
 - *relationship to adjoining buildings;*
 - *line of vision - skyline and setback;*
 - *roof form;*
 - *bulk and scale;*
 - *windows and doors;*
 - *verandas;*
 - *wall and roof finishes;*
 - *fences;*
 - *landscaping;*
 - *architectural detail; and*
 - *car accommodation.*

Comment: The comments above addressing DCP Clauses 1.4 and 10.5.8 demonstrates that the proposal is consistent with these objectives.

1.8 Commercial Activity and Tourism

Aims

- To promote the special qualities of Kurrajong Heights Village as a means of increasing economic viability and tourism.

Objectives

- The establishment of “tourism” activities sympathetic with the low key nature of the village is encouraged.

Comment: The proposed hotel and accommodation is considered a suitable continuation of the development of Kurrajong Heights Village, which historically has been associated with inns, guest houses and hotels. The proposed hotel and accommodation will support tourism within the area.

6.0

CONCLUSIONS AND RECOMMENDATION

6.1 CONCLUSIONS

- 27 Douglas Road is **not** listed as an item of heritage significance in any statutory instrument.
- It is located in the vicinity of the listed heritage items at 1259 Bells Line of Road, 1255 Bells Line of Road, 1251 Bells Line of Road and 1A Warks Hill Road, Kurrajong Heights.
- Other listed heritage items in the wider locality are separated from the subject site by intervening roadways, buildings and local topography and have no direct visual connection to the site.
- It is also located within the Kurrajong Heights Village Special Area as identified within *Hawkesbury DCP 2002, Part E*.
- The design form, style, scale and siting have all been selected to suit the character and minimise the presence of the proposed buildings, set amongst Heritage-listed items.
- The significance of the Lochiel House, Douglass Cottage, Aylesbury Cottage and Store, and St David's Church, and their ability to contribute to the streetscape and the Kurrajong Heights village, will be retained.
- The proposed development will have no physical impact on the heritage items in the vicinity of the site.
- The proposed development at 27 Douglas Road does is not considered to generate any adverse impact, as the majority of existing views and the setting of the heritage items in the vicinity are retained.
- The proposed new building at 27 Douglas Road has been designed to reduce visual dominance, while being in keeping with the low scale and character of the streetscape and the heritage items in the vicinity.
- The Heritage impact of the proposed hotel and accommodation on the neighbouring listed Heritage items are considered to be low and even more negligible to the Kurrajong Heights Village area.
- The proposed development is essentially consistent with the heritage requirements and guidelines of the *Hawkesbury LEP 2012* and the *Hawkesbury DCP 2002*.
- Should any unexpected relics be disturbed during excavation of the site, they must be managed under the Archaeological provisions of the *NSW Heritage Act*.

6.2 RECOMMENDATION

- Council should have no hesitation, from a heritage perspective, in approving the application.

7.0

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