



Attachment 1 to Item 10.3.2.

Draft Plan of Management - Church Street Reserve/Oasis
Aquatic and Fitness Centre and Windsor Pre School

Date of meeting: 18 February 2025

Location: Council Chambers

Time: 6:30pm



Hawkesbury
City Council

CHURCH STREET RESERVE/ OASIS AQUATIC AND FITNESS CENTRE AND WINDSOR PRESCHOOL **PLAN OF MANAGEMENT**

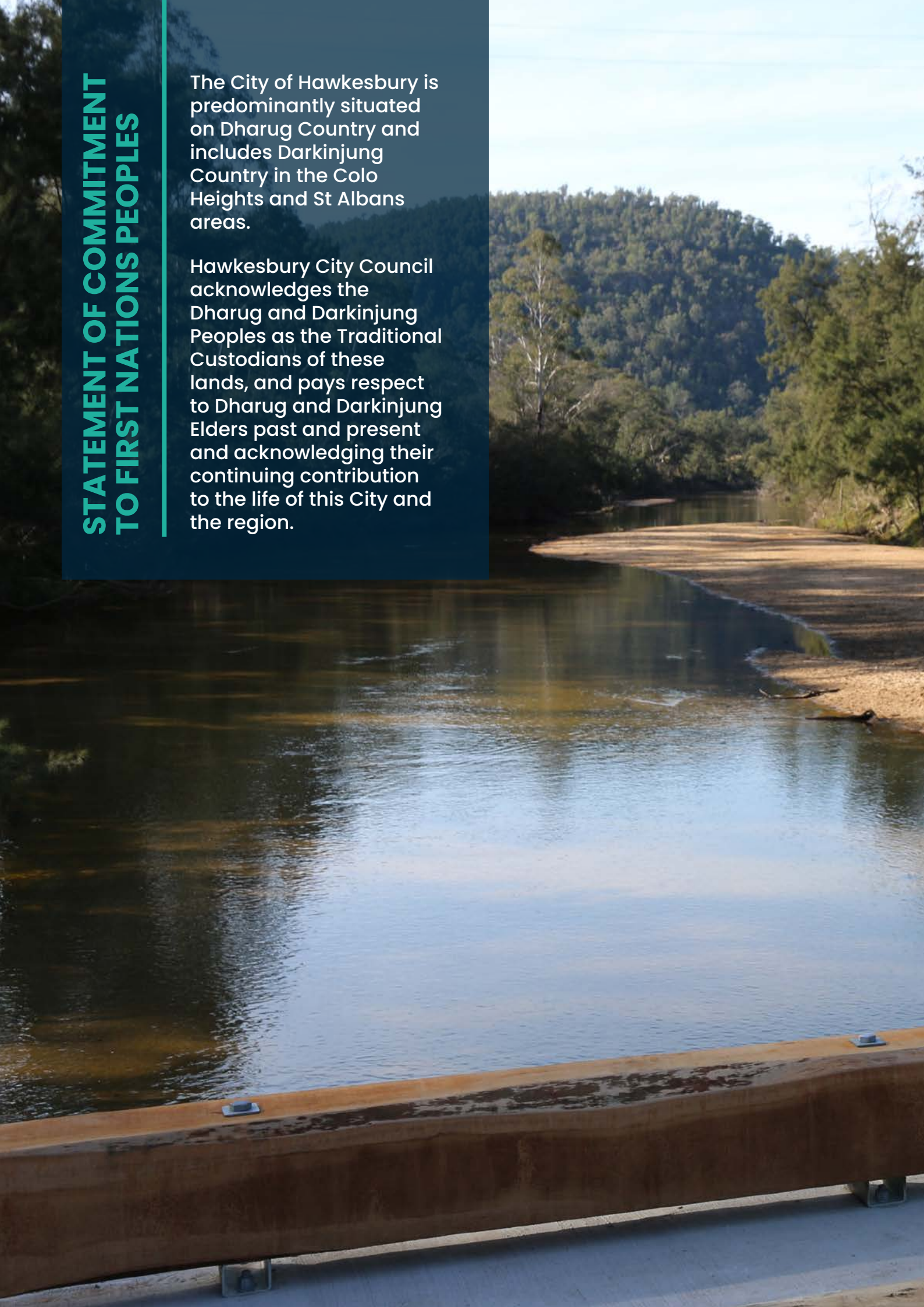
DRAFT FOR COUNCIL | 14 NOVEMBER 2024



STATEMENT OF COMMITMENT TO FIRST NATIONS PEOPLES

The City of Hawkesbury is predominantly situated on Dharug Country and includes Darkinjung Country in the Colo Heights and St Albans areas.

Hawkesbury City Council acknowledges the Dharug and Darkinjung Peoples as the Traditional Custodians of these lands, and pays respect to Dharug and Darkinjung Elders past and present and acknowledging their continuing contribution to the life of this City and the region.



Prepared by: Hawkesbury City Council and Parkland Planners

Adopted on: xx/xx/xxxx

CONTROLLED DOCUMENT

Draft Issue D: October 2024

Version	Description	Date
A	Preliminary draft – information collection, clarification	March 2024
B	Draft – Internal review	October 2024
C	Draft – Native Title Manager review	28 October 2024
D	Draft for Council adoption to refer to Crown Lands	14 November 2024
E	Draft – for Crown Lands Review	
F	Draft – for Public Exhibition	
G	Final for adoption	

Contents

1 Introduction	6
1.1 What is a Plan of Management?	6
1.2 Background to this Plan of Management	6
1.3 Land to which this Plan of Management applies	7
1.4 Objectives of this Plan of Management	8
1.5 Process of preparing this Plan of Management	9
1.5.1 Introduction	9
1.5.2 Community and Stakeholder Engagement	11
1.6 Requirements for Crown and Community Land	11
2 Description of Church Street Reserve/Oasis and Windsor Preschool	14
2.1 Location and Context	14
2.2 History and Cultural Heritage	15
2.2.1 History of Church Street Reserve and Windsor Preschool	15
2.2.2 Heritage Significance	15
2.3 Significance of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	16
2.4 Land Ownership and Management	17
2.4.1 Introduction	17
2.4.2 Management	19
2.4.3 Public access	19
2.4.4 Key stakeholders at Church Street Reserve and Windsor Preschool	20
2.5 Physical Characteristics	20
2.5.1 Geology and Soils	20
2.5.2 Landform and Topography	20
2.5.3 Hydrology and Drainage	21
2.5.4 Biodiversity	21
2.6 Visual Assessment	22
2.7 Access and Circulation	22
2.8 Built Facilities	23
2.8.1 Introduction	23
2.8.2 Description and Condition of Built Facilities	24
2.8.3 Utilities	28
2.9 Uses of Church Street Reserve and Windsor Preschool	29
2.9.1 Activities and Uses	29
2.9.2 Use Agreements	29
2.10 Maintenance	30
2.11 Revenue and Costs	30

3 Planning Context	32
3.1 Introduction	32
3.2 Commonwealth Legislation	34
3.2.1 Native Title Act 1993	34
3.2.2 Telecommunications Act 1997	35
3.3 NSW Government Legislation and Plans	35
3.3.1 Crown Land Management Act 201	36
3.3.2 Aboriginal Land Rights Act 1983	37
3.3.3 Local Government Act 1993	37
3.3.4 Environmental Planning and Assessment Act 1979	38
3.4 Hawkesbury City Council Plans	38
3.4.1 Hawkesbury Local Strategic Planning Statement	38
3.4.2 Hawkesbury Community Strategic Plan 2022-2042	39
3.4.3 Hawkesbury Local Environmental Plan 2012	40
3.4.4 Hawkesbury Regional Open Space Strategy 2013	41
3.4.5 Hawkesbury Access and Inclusion Plan 2014-2017	42
3.4.6 Council Policies	43
3.4.7 Local Open Space Context	43
4 Basis for Management of Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool	44
4.1 Introduction	44
4.2 The Community	44
4.2.1 The Hawkesbury Community	44
4.2.2 South Windsor Community	45
4.3 Community and Stakeholder Engagement	46
4.3.1 Introduction	46
4.3.2 Process of Community and Stakeholder Engagement	46
4.3.3 Outcomes of Community Engagement	46
4.4 Values and Roles of Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool	47
4.5 Vision and Management Objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	49
4.5.1 Vision for Open Space and Parkland in NSW	49
4.5.2 Hawkesbury City Council Vision	50
4.5.3 Principles of Crown Land Management	51
4.5.4 Core Objectives for Categories of Community and Crown Land	51
4.5.5 Reserve Purpose	52
4.5.6 Land Use Zoning Objectives	52
4.5.7 Management Principles	52
4.5.8 Roles and Management Objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre	53

5 Future Uses and Developments	54
5.1 Permitted Future Uses and Developments	54
5.1.1 Introduction	54
5.1.2 Legislative Requirements	54
5.1.3 Preferred Future Developments and Uses	57
5.1.4 Authorised Uses and Development at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	58
5.1.5 Restricted and Prohibited Activities	63
5.1.6 Guidelines for Buildings and Other Structures	64
5.1.7 Scale and Intensity of Future Uses and Development	65
5.2 Use Agreements	66
5.2.1 What Are Use Agreements?	66
5.2.2 Authorisation of Current Use Agreements	66
5.2.3 Considerations for Leases and Licences over Crown Land	67
5.2.5 Express Authorisation of Future Use Agreements	68
5.2.6 Short Term Licences	70
5.2.7 Use Agreements by Tender	70
5.2.10 Exclusive Occupation and Private Purposes	73
6 Action Plan	74
6.1 Master Plan	74
6.2 Action Plan	76
6.2.1 Introduction	76
6.2.2 Open Space Actions	77
6.2.3 Access and Linkages Actions	77
6.2.4 Recreation Actions	78
6.2.5 Community/Social Actions	80
6.2.6 Environmental/Sustainability Actions	80
6.2.7 Management Actions	81
7 Implementation and Review	82
7.1 Management	82
7.2 Maintenance	82
7.3 Monitoring	82
7.4 Implementation	82
7.5 Funding	83
7.6 Reporting	83
7.7 Change and Review of this Plan of Management	83

References	84
Appendix A	86
Relevant Legislation and Plans	86
A.1 NSW Government Plans	86
A.1.1 NSW Government Legislation	86
A.1.2 NSW Government Policies and Plans	86
A.2 Greater Sydney, District and Regional Plans	90
A.2.1 Strategic Landuse Plans	90
A.2.2 Green Grid Plans	92
A.2.3 Recreation Plans	92
A.2.4 Planting Plans	93
A.3 Hawkesbury City Council Plans	93
A.3.1 Hawkesbury – a City in its Landscape	93
A.3.2 Social Infrastructure Assessment and Strategy 2024-2034	93
A.3.3 Mobility Plan	93

Figures

Figure 1 Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	11
Figure 2 Process of preparing this Plan of Management	13
Figure 3 Process of preparing a Plan of Management for Crown Land	14
Figure 4 Location of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	18
Figure 5 Ownership and management of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	21
Figure 6 Flood probability	25
Figure 7 Key built structures in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	27
Figure 8 Categorisation of Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool	41
Figure 9 Zoning of Church Street Reserve and Windsor Preschool	44
Figure 10 Terrestrial Biodiversity	44
Figure 11 Hawkesbury Open Space Structure Plan	45
Figure 12 Open space in South Windsor	47
Figure 13 The Hawkesbury Community	48
Figure 14 Values of social infrastructure and open space in Hawkesbury City	51
Figure 15 Church Street Reserve/Oasis Aquatic and Fitness Centre Masterplan	79

Contents

Table 1 Structure of this Plan of Management	15
Table 2 Contents of a Plan of Management for community land	16
Table 3 Contents of a Plan of Management required by the Crown Land Management Act 2016	17
Table 4 Church Street Reserve and Windsor Preschool historical events	19
Table 5 Ownership and management of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	22
Table 6 Stakeholders in Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool	24
Table 7 Condition of land and structures at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	28
Table 8 Use agreements in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	33
Table 9 Planning context of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	36
Table 10 Guidelines for categories of Crown land at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	42
Table 11 Community outcomes and objectives	43
Table 12 Values and roles of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	52
Table 13 Permissible activities in applicable zoning	60
Table 14 Permissible uses of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	63
Table 15 Permissible developments to facilitate uses at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	65
Table 16 Leases and licences over dedicated or reserved Crown land	71
Table 17 Authorised uses for short term casual use or occupation of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	73
Table 18 Express authorisation of leases, licences and other estates at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool	74
Table 19 Open Space Actions	81
Table 20 Access and Linkages Actions	81
Table 21 Recreation Actions	82
Table 22 Community/Social Actions	84
Table 23 Environmental/Sustainability Actions	84
Table 24 Management Actions	85

1 INTRODUCTION

1.1 What is a Plan of Management?

A Plan of Management provides the framework for managing public land. It sets out how public land is intended to be used, managed, maintained and enhanced in the future.

The *NSW Local Government Act 1993* requires a Plan of Management to be prepared for all public land that is classified as community land under the Act. This requirement applies to community land owned by a Council, and Crown land for which Council is Crown Land Manager. The *Crown Land Management Act 2016* authorises local Councils appointed as Crown Land Manager to manage dedicated or reserved Crown land under the Local Government Act.

This Plan of Management is accompanied by a Masterplan in Section 6 which illustrates proposed physical changes to Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool.

1.2 Background to this Plan of Management

Hawkesbury City Council secured funding from the NSW State Government in 2023 for ten (10) community asset projects through the Western Sydney Infrastructure Grant (WSIG) funding program. One of these projects is the Oasis Aquatic and Fitness Centre (O AFC), which is part of Church Street Reserve and Windsor Preschool. Built in the 1990s, the OALC provides indoor and outdoor pools, a gym, group fitness spaces and a community room. It is well used by the Hawkesbury and wider community for sport, fitness and leisure. However its use is restricted due to a lack of a shallow-depth program pool and other key amenities. Proposed improvements to the OALC will expand upon the current centre within the existing boundary to include better amenities for patrons.

The NSW Government is contributing funds towards the project through the Western Sydney Infrastructure Grant program, and Hawkesbury City Council is contributing the remaining funds.

Council received a grant of \$250,000 from the Federal Investing in Our Communities Program in 2024 to upgrade the picnic area with renewed shelters and picnic settings, and to add to the playspace with shade sails, a drinking fountain, and a Mouse Wheel play item.

The preparation of a stand-alone Plan of Management for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool reflects:

- The proposed significant upgrade to the Oasis Aquatic and Fitness Centre
- Both Church Street Reserve and Windsor Preschool are Crown land, adjoin each other, and share parts of land parcels.

Upon adoption this Plan of Management will supersede the Generic Plans of Management: Parks and the Generic Plans of Management: General Community Use adopted by Hawkesbury City Council in 2011 as they apply to Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool.

1.3 Land to which this Plan of Management applies

This Plan of Management applies to Church Street Reserve (Crown reserve R.86880) and Windsor Preschool (Crown reserve R.89601) at 101 Church Street in South Windsor, as shown in Figure 1.

Church Street Reserve (not official name for park- locational reference) includes the Oasis Aquatic and Fitness Centre. As such, Church Street Reserve is locally and informally known as Oasis Park and Pool Park.

This Plan of Management also applies to the road reserve (asset number 0013621).

Figure 1 Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool



The subject land is 4.73 hectares in area. Church Street Reserve/Oasis Aquatic and Fitness Centre is 4.48 hectares in area, with Windsor Preschool 0.25 hectares in area.

Key features of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool include:

- Oasis Aquatic and Fitness Centre
- Inclusive district play space
- Picnic area
- Public toilets
- Off-leash dog area
- Informal parkland
- Carparks serving the aquatic centre and parkland
- Windsor Preschool and carpark.

1.4 Objectives of this Plan of Management

The objectives of this plan are to:

- Provide a framework for the ongoing improvement, use, maintenance and management of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool over the next 10 years
- Comply with relevant legislation, particularly the *Crown Land Management Act 2016*, *Native Title Act 1993*, and the *Local Government Act 1993*
- Be consistent with Hawkesbury City Council's relevant strategies, plans and policies
- Reflect the values and expectations of the community, user groups, local residents, facility staff, and all other users who will use and enjoy Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool
- Protect, enhance and balance the recreational, community and open space values
- Guide future uses and developments of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool
- Authorise future uses and developments and use agreements (leases, licences and other estates) on the land
- Categorise Crown land within Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool to reflect current and proposed uses
- Include clear and achievable management strategies, actions and performance targets which reflects Council's corporate planning goals and plans
- Identify priorities for the allocation of resources to inform future capital works and maintenance programs consistent with identified community and user needs.

1.5 Process of preparing this Plan of Management

1.5.1 Introduction

The general process of preparing this Plan of Management, engagement with stakeholders and the community, and documents produced at each stage is outlined below in Figure 2. The steps involved in preparing a Plan of Management for Crown land are in Figure 3.

Figure 2 Process of preparing this Plan of Management

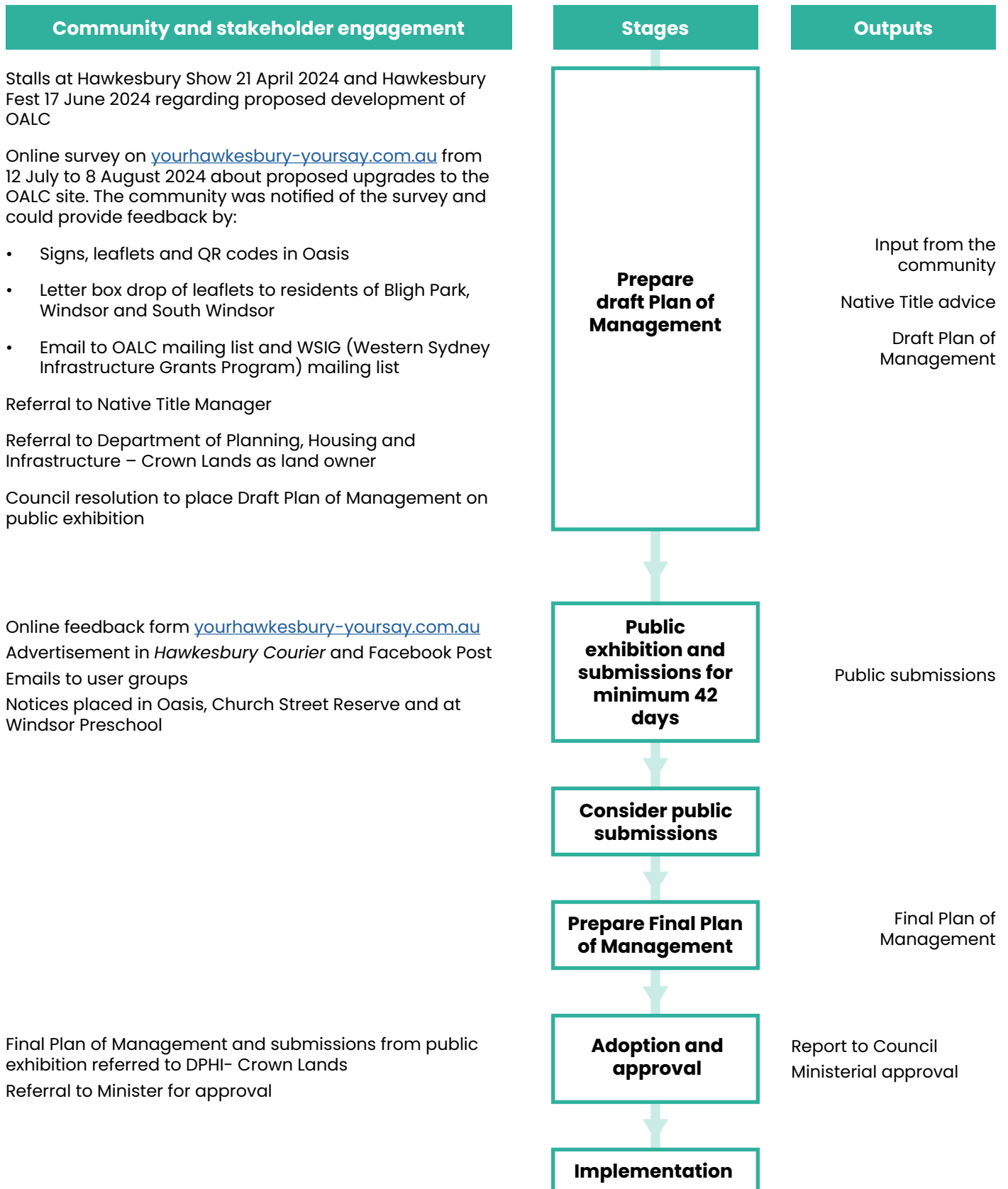


Figure 3 Process of preparing a Plan of Management for Crown Land



1.5.2 Community and Stakeholder Engagement

Engagement with the community is an important part of the preparation of this Plan of Management. Council is committed to engaging with the community in the planning and management of its community land. By utilising collaborative processes that recognise the values of the park and local knowledge, we can develop a shared vision for its use, management, and development.

A community and stakeholder engagement program was undertaken by Council in 2024 to enable the community and reserve users to provide input to the development of the OALC, and to comment on this Plan of Management as outlined in Figure 2.

After advice from the Native Title Manager was received the Draft Plan of Management was approved by Council to be referred to the NSW Department of Planning, Housing and Infrastructure - Crown Lands (DPHI-CL) as representative of the State of NSW which is the owner of the Crown reserve. Provisions required by DPHI-CL will be included in the Draft Plan of Management. The Minister's consent will be required post exhibition prior to Council's adoption of the Plan of Management.

The *Crown Land Management Amendment (Plan of Management) Regulation 2021* exempts Council from the requirement to hold a public hearing into the proposed categorisation of Crown land comprising Church Street Reserve and Windsor Preschool in accordance with Section 40(A) of the *Local Government Act 1993*.

The Draft Plan of Management will be exhibited for public comment in accordance with Section 38 of the *Local Government Act 1993*. Submissions will be received, considered and appropriate amendments incorporated into the final Plan of Management.

1.6 Requirements for Crown and Community Land

This Plan of Management is divided into the following sections, as outlined in Table 1.

Table 1 Structure of this Plan of Management

	Section	What does it include?
1	Introduction	Background to the Plan of Management, purpose, process, contents
2	Description of Church Street Reserve and Windsor Preschool	History, ownership and management, physical description, facilities, uses, maintenance
3	Planning context	Commonwealth and State planning legislation Regional and local planning context
4	Basis for Management	Values and issues of the community and users Vision, roles, management objectives
5	Future uses and developments	Permissible uses and developments, scale and intensity of use, use agreements
6	Action Plan	Actions, performance targets and measures
7	Implementation and review	Management, funding, reporting, review

Requirements for a Plan of Management for Crown land managed by a Council are as provided by the *Local Government Act 1993*. These requirements and where they can be found in this Plan, are listed in Table 2.

Table 2 Contents of a Plan of Management for community land

Requirement of the Local Government Act	How this plan satisfies the Act
A description of the condition of the land, and of any buildings or other improvements on the land as at the date of adoption of the Plan of Management	Section 2
A description of the use of the land and any such buildings or improvements as at the date of adoption of the Plan of Management.	Section 2
Categorisation of community land	Section 3
Core objectives for management of the land	Section 4
The purposes for which the land, and any such buildings or improvements, will be permitted to be used.	Section 5
The purposes for which any further development of the land will be permitted, whether under lease or licence or otherwise.	Section 5
A description of the scale and intensity of any permitted use or development.	Section 5
Authorisation of leases, licences or other estates over community land.	Section 5
Objectives and performance targets.	Section 6
Means by which the plan's objectives and performance targets will be achieved.	Section 6
Means for assessing achievement of objectives and performance targets.	Section 6

This Plan of Management has also been prepared according to the requirements of the *Crown Land Management Act 2016*. A Plan of Management will satisfy the *Crown Land Management Act 2016* if the points in Table 3 are addressed.

Table 3 Contents of a Plan of Management required by the Crown Land Management Act 2016

A Plan of Management prepared by a Council crown land manager satisfies the Crown Land Management Act if:	How this plan satisfies the Act
It is consistent with the purposes the land has been reserved or dedicated. (Sections 3.13 and 2.12 of the Act)	This Plan has been prepared consistent with the purpose(s) of the reserves and dedications.
It has been prepared under the <i>Local Government Act 1993</i> and is classified community land that is either dedicated or reserved Crown land. (Sections 3.32 (1)(b) and Section 3.23 (6))	All Crown land that this Plan of Management has been prepared for is either dedicated or reserved Crown land under the management of Hawkesbury City Council, or is community land under the <i>Local Government Act 1993</i> and therefore required to have a Plan of Management.
Plans of Management for the land are to be prepared and adopted in accordance with the provisions of Division 2 or Part 2 of Chapter 6 of the <i>Local Government Act 1993</i> (Section 3.23 (7) (d))	This Plan has been prepared to satisfy the requirements of the <i>Local Government Act 1993</i>
If the draft Plan of Management alters the categories assigned as provided by this section, the council manager must obtain the written consent of the Minister to adopt the plan if the re-categorisation would require an addition to the purposes for which the land is dedicated or reserved	Written consent of the Minister will be obtained through the review of the draft Plan by the Crown.
Hold public hearing under section 40A of the <i>Local Government Act 1993</i> . (Section 3.23 (7) (d))	<i>The Crown Land Management Amendment (Plan of Management) Regulation 2021</i> exempts Council from the requirement to hold a public hearing into the proposed categorisation of Crown land in accordance with Section 40(A) of the <i>Local Government Act 1993</i> .
Excepting where the relevant land is excluded land, the written advice of at least one Council's Native Title Manager that it complies with any applicable provisions of the native title legislation has been obtained. (Section 8.7 (1) (d))	Council has received the advice of a native title manager that the plan complies with the <i>Native Title Act 1993</i> (Cwth).
Council must comply with any requirements of the native title legislation in relation to the land (Section 8.10)	The Plan of Management has been prepared to ensure any impacts on native title will be appropriately addressed under the future act provisions of the <i>Native Title Act 1993</i> . Council shall meet the notification requirements of Section 24JB of the <i>Native Title Act 1993</i> in relation to the construction or establishment of a public work prior to further approval.

2 DESCRIPTION OF CHURCH STREET RESERVE/OASIS AND WINDSOR PRESCHOOL

2.1 Location and Context

Figure 4 shows the location and context of Church Street Reserve and Windsor Preschool.

Figure 4 Location of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool



Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are located in the suburb of South Windsor within the Hawkesbury local government area.

2.2 History and Cultural Heritage

2.2.1 History of Church Street Reserve and Windsor Preschool

Aboriginal

The original inhabitants of the Hawkesbury area are the Darug (Dharug) Aboriginal peoples. The Dharug people have lived on Dyarubbin (Hawkesbury River) for millennia, their history, culture and spirituality were and are inseparable from their river Country. Every place and distinctive feature would have had a name. The Dharug people lived in family groups or clans.

In 1829, the Reverend John McGarvie compiled a list of 178 Aboriginal place names along Dyarubbin, including the Aboriginal name for Windsor Bulyayorang.

Post-European

Following colonisation and settlement of Europeans, the fertile Hawkesbury region was one of the first areas established to provide food to the new colony.

Table 4 Church Street Reserve and Windsor Preschool historical events

Date	Event
1962	On 18 July the <i>Windsor and Richmond Gazette</i> reported that the Department of Lands was reviewing the future use of the vacant Crown land near Church Street in South Windsor. Due to the possibility of flooding the land was considered unsuitable for residential development, and so Windsor Council may wish to reserve the land for a new recreation area to establish a children's playground. Such an amenity would cater for the needs of the expanding residential area in South Windsor.
1968	Church Street Reserve was reserved as Crown land on 27 September.
1975	Windsor Preschool was gazetted as a public reserve on 10 March.
1979	Windsor Preschool was constructed.
1981	Council resolved on 9 September to construct a BMX track opposite Church and Drummond Streets.
c. 1995	Oasis Aquatic and Fitness Centre constructed
c. 2005	Shelters and toilets constructed in Church Street Reserve
2016-17	Extensions to Windsor Preschool were constructed
2018	Council received \$500,000 under the NSW Government's "Everyone Can Play" grants program to design and install an Inclusive Play Space in Church Street Reserve.

Over the years, informal recreation and community facilities have been added to become a multi-purpose recreation and community precinct.

2.2.2 Heritage Significance

Church Street Reserve and Windsor Preschool do not themselves have any formally recognised heritage significance. However, South Windsor is part of one of the historic Macquarie Towns.

2.3 Significance of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are much valued and used recreation and community facilities within South Windsor for several reasons, including that:

- OALC is currently the only indoor aquatic centre in Hawkesbury local government area
- It incorporates a Preschool
- It includes a popular Inclusive Play Space
- It includes a large fenced dog off leash exercise area.



2.4 Land Ownership and Management

2.4.1 Introduction

The ownership and management of the parcels of land which comprise Church Street Reserve and Windsor Preschool are shown in Figure 5 and detailed in Table 3.

Figure 5 Ownership and management of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool



Table 5 Ownership and management of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Reserve number	R.86880	R.89601
Reserve name	Church Street Reserve	Windsor Preschool
Land parcels	Lots 1-22 Section 1 DP 759096 Lots 1-9 Section 2 DP 759096 Lot 14 Section 2 DP 759096 Lots 10-11 Section Z DP 759096 Lot 7012 DP 1051471 Lots 7013-7014 DP 1051466 Part Lots 12-13 Section Z DP 759096 Road reserves	Part Lots 12-13 Sec Z DP 759096 Lots 14-15 Sec Z DP 759096 Lot 7303 DP 1141100
Area (m ²)	44,770.29m ²	2,546.44m ²
Owner	Crown	Crown
Manager	Hawkesbury City Council as Crown Land Manager	Hawkesbury City Council as Crown Land Manager
Public Purpose	Public Recreation	Child Welfare Purposes
Categorisation	Park General Community Use	General Community Use
Features	Oasis Aquatic and Fitness Centre, play space, picnic area, public toilets, off-leash dog exercise area, parkland, carpark, pumping station	Windsor Preschool, carpark

There are no easements affecting the subject land.

Crown Land

Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool are in the Parish of St Matthew, County of Cumberland.

All of the land subject to this Plan of Management is Crown land, with Hawkesbury City Council as Crown Land Manager.

Church Street Reserve/Oasis Aquatic and Fitness Centre (R.86880) is reserved for Public Recreation. Windsor Preschool (R.89601) is reserved for Child Welfare Purposes.

Claim no. 50406 was lodged by New South Wales Aboriginal Land Council over Lot 12 Section 1 DP 759096 on 20 December 2019.

Such claims can take some time to process, but previous experience has highlighted that when significant improvements such as those already made to this site, then the potential for a successful claim is reduced significantly. Preparation of this draft Plan of Management has been informed by Native Title Manager advice.

2.4.2 Management

Oasis Aquatic and Fitness Centre

The Oasis Aquatic and Fitness Centre is managed by YMCA NSW under an 'Agreement for Management and Operation of Oasis Aquatic and Fitness Centre' and is the principle recreation facility on the site.

Park

The parkland of Church Street Reserve is managed by Hawkesbury City Council, which is responsible for:

- Day-to-day management including cleaning of amenities, opening and closing of gates
- Managing informal use and bookings for use
- Managing use agreements
- Liaising with the community and user groups about improvements to facilities
- Ensuring that park rules are adhered to
- Ongoing preventative and remedial maintenance of park assets
- Allocation of resources (financial, human and physical) for capital improvements and maintenance
- Liaising with authorities which have responsibilities relevant to development and management of infrastructure and services associated with the park.

Council is also responsible for review of this Plan of Management when necessary to enable changing circumstances and community needs to be considered and incorporated.

Windsor Preschool

Windsor Preschool is a community based non-profit childcare provider.

The Preschool is managed by a Director in conjunction with a Management Committee of elected volunteer parents and community members. The Director and staff are responsible for day-to-day running of the Preschool.

Windsor Preschool is funded by an operating grant from the NSW government and from parent fees.

2.4.3 Public Access

Public access is available to the parkland of Church Street Reserve at all times.

Access to the Oasis Aquatic and Fitness Centre is limited to people who pay an entry fee or hold a membership of the facility. Opening hours are Monday to Friday 5:30am to 9:00pm, Saturday and Sunday 8:00am to 6:00pm, and public holidays 10:00am to 4:00pm.

Access to Windsor Preschool is limited to enrolled children, parents and staff during opening hours.

2.4.4 Key Stakeholders at Church Street Reserve and Windsor Preschool

Stakeholders responsible for management of land, or with an interest in the land, facilities and/or use at Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool are listed in Table 6.

Table 6 Stakeholders in Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool

Organisation	Responsibilities
Minister for Lands and Property Department of Planning, Housing and Infrastructure – Crown Lands	Landowner Use of the park according to public purpose Leases, licences over Crown land
Department of Primary Industries and Regional Development	Funding of improvements
Hawkesbury City Council	Crown Land Manager Asset management Community and stakeholder engagement Community safety Bookings Maintenance Funding
Darug Custodians Aboriginal Corporation Darug Tribal Aboriginal Corporation Deerubbin Local Aboriginal Land Council	Aboriginal cultural heritage
YMCA NSW	Management and operation of Oasis Aquatic and Fitness Centre
Windsor Preschool Association Incorporated	Leaseholder
User groups: • Schools • Swim clubs	Meet requirements of licence, hire and other use agreements
Residents	Neighbours Users
NSW Police	Crime prevention

2.5 Physical Characteristics

2.5.1 Geology and Soils

The OALC site is underlain by Tertiary Age alluvial soils comprising clays and gravels (Green Geotechnics, 2024). Boreholes indicate three sub-surface geotechnical units: Fill and Remnant Topsoil, Natural Firm to Stiff and Stiff Alluvial Clays, and Stiff and Very Stiff Alluvial Gravelly Clays and Clayey Gravels.

The risk of acid sulfate soils at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is low, with those soils being Class 5 acid sulfate soils.

2.5.2 Landform and Topography

The topography of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is undulating. The ground surface on the site has a natural slope to the north-west towards Cox Street.

The aspect is generally northerly, with sunny and exposed, vegetated and shaded areas.

2.5.3 Hydrology and Drainage

Flood maps supplied show that approximately half of the subject land would be inundated by a 5% Annual Exceedance Probability (AEP) (1 in 20 year) flood, and 99% of the land would be inundated in a 1% AEP (1 in 100 year) flood.

Figure 6 Flood probability



2.5.4 Biodiversity

Flora

Prickly-leaved Paperbark (*Melaleuca styphelioides*) is the dominant remnant vegetation on site.



Palm trees have been planted in the outdoor area of OALC.

Various species of advanced trees have been planted in the play space.

Fauna

No fauna surveys have been carried out in the reserve, so comprehensive information on fauna is not available.

2.6 Visual Assessment

The landscape of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool today bears little resemblance to the original natural landscape.

Original vegetation was cleared to create the parkland, the aquatic and fitness centre and Preschool.

Views into the reserves are available from adjoining land uses, particularly residences and from Windsor Golf Course.



2.7 Access and Circulation

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are easily accessible by foot, bicycle, private and authorised vehicles, and public bus services.

A network of formal and informal pedestrian pathways link with adjoining residential areas and with Macquarie Street.

Several local and regional bus routes are within easy walking distance of the reserves along George Street:

- **673** Windsor to Penrith via Cranebrook
- **674** Mt Druitt to Windsor via Shanes Park
- **675C** Windsor to Richmond via Bligh Park and RAAF Base
- **676** Windsor to South Windsor (loop service).

Entry points to the reserves for pedestrians and cyclists are from adjoining streets except Ham Street.

Access for private vehicles and emergency and maintenance vehicles is from Church Street and Drummond Street into the carparks. Overflow parking is available on the gravel area north of the aquatic centre. Parking for buses is available during events.

Oasis Hawkesbury is accessible for people with disability. Accessible parking spaces are provided in the carpark. A pool hoist is available for assistance into the outdoor and indoor pools.

2.8 Built Facilities

2.8.1 Introduction

The location of built structures in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is shown in Figure 7.

Figure 7 Key built structures in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool













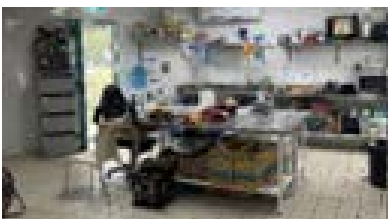
2.8.2 Description and Condition of Built Facilities

A description and condition of the built structures and land in Church Street Reserve and Windsor Preschool is in Table 8. Condition ratings are listed below.






Score		Condition Score scale
0	Excellent (91 - 100%)	Asset is new, built to functional needs and capacity is more than minimum requirement.
1	Good (71 - 90%)	Asset is in good functional service, capacity is adequate with limited signs of wear and requires only cyclic maintenance.
2	Average (51 - 70%)	Asset is in functional with general signs of wear. Item requires only cyclic maintenance and is not requiring special attention. Capacity is just adequate but level of service is acceptable.
3	Fair (26 - 50%)	Asset is in useable state with relation to functionality and capacity with extensive signs of wear. Item requires some attention to prevent further deterioration and to return it to a state so that it requires only cyclic maintenance.
4	Poor (16 - 25%)	Asset is in poor state or is faulty and is in need of urgent attention to return it to a useable level with relation to functionality and capacity
5	Unserviceable (0 - 15%)	Asset has failed or is at the end of its life and requires replacement.






Table 7 Condition of land and structures at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Item	Description	Condition	Images
Oasis Hawkesbury			
50 metre x 15 metre outdoor pool		Structure –3 Finishes – 4	
Single storey brick building approx. 60m2 constructed c. 1971.		3	
Aquatic Centre main building	Single storey building Approx 3,500m2	Constructed c. 1995 Structure condition: 3	
25 metre indoor pool	Heated	3	

Item	Description	Condition	Images
Indoor leisure pool	Heated incl. slide pool, beach, fountains	2	
Health club	Cardio and fitness strength equipment	Upgraded in 2021	
Group fitness studio	Polished wooden floor	3	
Creche		3	
Spa		Structure 1 Finishes 2	
Sauna	Wooden walls and ceiling, wood seating, tiled floor	Sauna heater-1	
Steam room	Tiled ceiling, walls, seating, floor	2	
Kitchen	Commercial kitchen	3	

Item	Description	Condition	Images
Kiosk	Outdoor seating Shade structure Planter boxes	3	
Amenities, male and female change rooms		3	
Outdoor play space	Swings Climbing frame Picnic table and seats	2	
Shade structures over grassed area	Metal, shade sail fabric	2	
Plant room and equipment		3	
Aquatic Centre Filter Room	Single storey building Approx. 80m2	Constructed c. 1971	
OALC grassed curtilage	Grassed lawn areas, garden beds, trees around the aquatic centre and carpark		

Item	Description	Condition	Images
Park			
Play space	Inclusive, accessible nature (water and sand) play, four-person swing, double flying fox, giant mouse wheel, climbing frame, accessible carousel, seating	2 – minor defects only (July 2024)	
Shelters	Covered picnic shelters constructed c.2005	2	
Toilets	Toilets constructed c.2005	3	
Off-leash dog exercise area	Metal entry/exit gate on concrete hardstand Grassed and treed area	2	
Carpark	Asphalt sealed	3	
Water tank	Recycled water for irrigation	1	

Item	Description	Condition	Images
Windsor Preschool			
Building	Single storey brick building approx. 300m2 Playrooms x 2, kitchen/laundry, cloak room, paint clean room, multi-function room, breakout spaces, staff room, staff office, office, store rooms, toilets, covered terrace	Asset condition 3/5 - Good Constructed 1979 Renovation and extension 2017-2018	 
Outdoor spaces	Play equipment, shade structures, shed, stairs, timber walkways, vegetable gardens, retaining walls, landscaping, trees and shrubs, grass	2	 
Carpark	Bitumen surface Line marked	3	

2.8.3 Utilities

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool have connections to utility service infrastructure including electricity, water, sewer, gas, and telecommunications.

2.9 Uses of Church Street Reserve and Windsor Preschool

2.9.1 Activities and Uses

Church Street Reserve

Users of Church Street Reserve/Oasis Aquatic and Fitness Centre participate in a variety of informal and organised aquatic, fitness, recreation and social/community activities offered by the facilities and settings in the reserve. The catchment of park users varies from local to district and regional catchments depending on the use or activity.

Activities offered by facilities at Hawkesbury Oasis Aquatic and Fitness Centre the principle recreation facility on the site include:

- Swimming: casual, play, lessons for children and adults, squad, recreational, school carnivals and competitions, SwimAbility lessons for people with disabilities, aquaerobics
- Health and fitness activities in the gym including Teen Gym classes, personal training, group fitness classes, school physical education programs. 55+ exercise classes
- School holiday activities
- Social gatherings in the café
- Childcare and functions in the creche room.

Approximately 22,000 visits have been made to Oasis Aquatic and Fitness Centre in 2024.

Uses of the parkland include for children's play and ball games, and off-leash dog exercise.

Windsor Preschool

Windsor Preschool is used for childcare and early education for up to 55 children aged 3 to 5 years between 8:15am and 3:45pm on weekdays during public school terms.

2.9.2 Use Agreements

Use agreements which apply to the use of land and facilities in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool as set out below.

Table 8 Use agreements in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

	Aquatic centre	Windsor Preschool Association Incorporated
Agreement	Agreement for Management and Operation of Oasis Aquatic and Fitness Centre	Lease
Facility owner	Hawkesbury City Council as Crown Land Manager	Hawkesbury City Council as Crown Land Manager
Facility user/ manager	YMCA NSW	Windsor Preschool Association Incorporated
Facility	Oasis Aquatic and Fitness Centre	Windsor Preschool
Agreed uses	Aquatic and leisure activities	To conduct and maintain a community child care centre
Term	Commencement date 1 July 2020 – 30 June 2022 Operating on a holding over arrangement	3 years 1 July 2020–30 June 2023 No option to renew Operating on a holding over arrangement

The creche room is available for child-friendly functions and activities for up to 30 people outside the times when the creche is operating.

Other Use Agreements

Bookings are taken by Council for casual use. Conditions of use for casual and seasonal hirers are set by Council.

Fees and charges for use of Oasis Hawkesbury, Church Street Reserve and Windsor Preschool are included in Council's Fees and Charges Schedule and are reviewed every year.

2.10 Maintenance

Maintenance tasks for the Oasis Aquatic and Fitness Centre are outlined in the Minor and Major Maintenance Schedule in the Agreement for Management and Operation of Oasis Aquatic and Fitness Centre.

The mobile mowing crew service the park on a three-weekly schedule when conditions allow. Parks cleaners attend daily to service amenities.

Other maintenance tasks include installation and repair of bollards, and lighting, etc. All other park maintenance tasks are done as required.

Repairs to built structures including amenities, lights, etc. are done as required by Council's Facility Operations Team.

Trees are inspected and maintained on a reactive basis as needed.

The Preschool buildings and outdoor spaces are maintained according to the lease agreement.

2.11 Revenue and Costs

Preschool is derived from lease and management agreements and park bookings.

Direct major ongoing costs associated with the park and Preschool include:

- Maintenance of the park and buildings
- Management of the aquatic and fitness centre
- Cleaning
- Play equipment inspections and renewal of play equipment
- Renewal of assets – public amenities, picnic shelters, play equipment, buildings, pools, etc.

This page is left blank intentionally

3 PLANNING CONTEXT

3.1 Introduction

Full versions of the legislation referred to below are found online at:

- www.legislation.nsw.gov.au
- www.austlii.edu.au

Hawkesbury City Council’s website is www.hawkesbury.nsw.gov.au

Table 10 outlines the national, state, regional and local planning context which influences the use, development and management of Church Street Reserve and Windsor Preschool.

Table 9 Planning context of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

	Land use planning and management	Open space/ active and informal recreation	Community and Culture	Environment
International		International Charter of Physical Education, Physical Activity and Sport United Nations Convention on the Rights of the Child	United Nations Convention on the Rights of Persons with Disabilities 2006	International climate change commitments
Commonwealth	<i>Native Title Act 1993</i> <i>Telecommunications Act 1997</i> Smart Cities Plan Australian Human Rights Commission- Advisory Notes on Streetscape Public Outdoor areas, Fixtures, Fittings and Furniture	Australian Standards for Play Spaces Australian Human Rights Commission Advisory Note on streetscape, public outdoor areas, fixtures, fittings and furniture 2013	<i>Native Title Act 1993</i> <i>Disability Discrimination Act 1992</i> Australian National Disability Strategy 2021-2031 <i>Work Health and Safety Act 2011</i> Australian Standards for access and mobility, built facilities, parking, lighting, and environmental management systems	Intergovernmental Agreement on the Environment 1997

	Land use planning and management	Open space/ active and informal recreation	Community and Culture	Environment
NSW	<p><i>Aboriginal Land Rights Act 1983</i></p> <p><i>Crown Land Management Act 2016</i></p> <p><i>Crown Land Management Regulation 2018</i></p> <p><i>Local Government Act 1993</i></p> <p><i>Local Government (General) Regulation 2021</i></p> <p><i>Environmental Planning and Assessment Act 1979</i></p> <p><i>Roads Act 1993</i></p> <p><i>Local Land Services Act 2013</i></p> <p><i>SEPP (Transport and Infrastructure) 2021</i></p> <p><i>Crown Land 2031 – State Strategic Plan for Crown Land (2021)</i></p> <p><i>Connecting with Country Framework</i></p> <p><i>Designing with Country Framework</i></p>	<p>NSW Premier's Priorities</p> <p>NSW Public Spaces Charter</p> <p>Greener Places Policy</p> <p>Draft Greener Places Design Guide 2020</p> <p>Better Placed Policy</p> <p>Everyone Can Play: A Guideline to Create Inclusive Playspaces 2019</p> <p><i>Companion Animals Act 1998</i> and Regulation 2018</p>	<p><i>National Parks and Wildlife Act 1974</i></p> <p><i>Heritage Act 1977</i></p> <p><i>Anti-Discrimination Act 1997</i></p> <p><i>Disability Inclusion Act 2014</i></p> <p><i>Public Health Act 2010</i></p> <p><i>Work Health and Safety Act 2011</i></p> <p><i>Work Health and Safety Regulation 2017</i></p> <p>NSW Disability Inclusion Action Plan 2020-2025</p> <p>NSW Strategic Plan for Children and Young People 2022-2024</p>	<p><i>Noxious Weeds Act 1993</i></p> <p><i>Pesticides Act 1999 and Pesticides Regulation 2017</i></p> <p><i>Water Management Act 2000</i></p> <p><i>Biodiversity Conservation Act 2016</i></p> <p><i>Biodiversity Conservation Regulation 2017</i></p> <p><i>SEPP (Biodiversity and Conservation) 2021</i></p> <p><i>Biosecurity Act 2015</i></p> <p><i>Resilience and Hazards SEPP 2021</i></p> <p><i>Catchment Management Authorities Act 2003</i></p> <p><i>SEPP (Vegetation in Non-Rural Areas) 2017</i></p> <p><i>Protection of the Environment Operations Act 1997</i></p> <p><i>Local Land Services Act 2013</i></p> <p><i>Smoke-free Environment Act 2000 and Smoke-free Environment Regulation 2016</i></p> <p><i>Soil Conservation Act 1938</i></p> <p><i>National Parks and Wildlife Act 1974</i></p>
Sydney	<p>A Metropolis of Three Cities: Greater Sydney Region Plan 2017</p> <p>Beyond the Pavement Building Momentum – State Infrastructure Strategy 2018-2038</p>	<p>50-Year Vision for Greater Sydney's Open Space and Parklands 2021</p> <p>Greater Sydney Green Grid 2017</p> <p>Greater Sydney Outdoors Survey 2021</p>		<p>Sydney Metropolitan Catchment Action Plan 2013-2023</p> <p>5MT for Greater Sydney</p>
Regional/ District	<p>Western City District Plan</p> <p>Western Sydney City Deal</p>	<p>Sydney Green Grid – Western District</p>		<p>Resilient Valley, Resilient Communities</p>

	Land use planning and management	Open space/ active and informal recreation	Community and Culture	Environment
Hawkesbury LGA	Hawkesbury Local Strategic Planning Statement 2040 (2021) Hawkesbury Community Strategic Plan 2022–2042 Hawkesbury Local Environmental Plan 2012 Hawkesbury Development Control Plan 2012 Hawkesbury Section 94 Contributions Plan 2015	Hawkesbury Regional Open Space Strategy 2013	Hawkesbury Local LGA Aboriginal Cultural Heritage Study Hawkesbury Disability Inclusion Action Plan 2017–2021 Hawkesbury Mobility Plan 2010 Hawkesbury City Council Events Strategy Hawkesbury City Council Community Sponsorship Strategy Social Infrastructure Assessment and Strategy 2024–2034	Hawkesbury Urban Greening Strategy 2023–2033 Hawkesbury Climate Change Risk Assessment and Adaptation Action Plan 2023 Hawkesbury Environmental Sustainability Strategy 2023 Hawkesbury Net Zero Emissions and Water Efficiency Strategy 2021 Resilient Hawkesbury Plan (in prep.) Hawkesbury City Council Flood Policy 2020

Key legislation and planning requirements are set out in this section. Other applicable legislation and plans are in Appendix A.

3.2 Commonwealth Legislation

3.2.1 Native Title Act 1993

The *Commonwealth Native Title Act 1993* recognises and protects the traditional ownership and interest in land and waters that indigenous Australians hold according to their traditions, laws and customs. The objectives of the Native Title Act are to:

- Provide for the recognition and protection of native title
- Establish ways in which future dealings affecting native title may proceed and to set standards for those dealings
- Establish a mechanism for determining claims to native title
- Provide for, or permit, the validation of past acts invalidated because of the existence of native title.

The Act describes the process for the recognition of native title rights, including mechanisms for Aboriginal and Torres Strait Islander People to establish the existence of native title, lodge native title claims, determine and validate the extinguishment of native title, and dealing with land and waters where native title persists.

All Crown land in NSW can be subject to a native title claim under the Native Title Act. A native title claim does not generally affect Crown land where native title has been extinguished or it is considered excluded land.

Such claims can take some time to process, but previous experience has highlighted that when significant improvements such as those already made to this site, then the potential for a successful claim is reduced significantly. Preparation of this draft Plan of Management has been informed by Native Title Manager advice.

The Native Title Act may affect use of Crown land, particularly development and granting of tenure. Under the *Crown Land Management Act 2016* it is mandatory for Council to nominate or engage a qualified Native Title Manager who provides advice regarding how Council's dealings and activities on Crown land can be valid or not valid in accordance with the Native Title Act. Council must obtain the written advice from a Native Title Manager that Council complies with any applicable provisions of the native title legislation when:

- Granting leases, licences, permits, forestry rights, easements or rights of way over the land
- Mortgaging the land or allowing it to be mortgaged
- Imposing, requiring or agreeing to covenants, conditions or other restrictions on use (or removing or releasing, or agreeing to remove or release, covenants, conditions or other restrictions on use) in connection with dealings involving the land
- Approving (or submitting for approval) a plan of management for the land that authorises or permits any of the kinds of dealings referred to above.

The *NSW Crown Land Management Act 2016* requires that on Crown land (including where managed by a local council) native title rights/interests must be addressed (unless native title has been surrendered, extinguished or legally determined to no longer exist). Any dealings in land or water by a Crown land manager that affect (impair or extinguish) native title are classified as "future acts" and must comply with the Act. Examples of a "future act," on Crown land, might include the granting of freehold title, or a lease or licence, or the construction of public works. The Native Title Act sets out procedures to follow before such "future acts" can be validly carried out.

3.2.2 Telecommunications Act 1997

The *Telecommunications Act 1997* (Cth) provides for telecommunication facilities being permitted on community land without authorisation in a Plan of Management.

3.3 NSW Government Legislation and Plans

The NSW legislation most affecting use and management of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is the *Crown Land Management Act 2016*, *Aboriginal Land Rights Act 1983*, *Local Government Act 1993*, and the *Environmental Planning and Assessment Act 1979*.

3.3.1 Crown Land Management Act 2016

All of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is Crown land. Crown land in NSW is governed by the *Crown Land Management Act 2016* (CLM Act), which provides a framework for the state government, local Councils and members of the community to work together to provide care, control and management of Crown reserves. Hawkesbury City Council is Crown land manager under the CLM Act and continues to have management responsibility for Church Street Reserve and Windsor Preschool.

Under Section 1.4 of the CLM Act, Crown land is required to be managed according to the objects and principles of Crown land management (refer to Section 4 of this Plan).

Section 3.21 of the CLM Act authorises a local Council that has management responsibility for an area of dedicated or reserved Crown land (a "council manager"), as Hawkesbury City Council does for Church Street Reserve and Windsor Preschool, to manage that land in accordance with the public land provisions of the *Local Government Act 1993*. With some exceptions, Section 3.22(1) of the CLM Act requires that a Council manager of dedicated or reserved Crown land "must manage the land as if it were community land under the *Local Government Act 1993*" and has "for that purpose all the functions that a local Council has under that Act in relation to community land (including in relation to the leasing and licensing of community land)". Notwithstanding, Crown land must be managed in accordance with the purpose(s) of the land and cannot be used for an activity incompatible with its purpose(s).

Section 3.23 of the CLM Act requires a Council manager of dedicated or reserved Crown land to:

- Categorise the land to one or more categories of community land referred to in Section 36(4) of the *Local Government Act 1993*. The assigned category(s) must be closely related to the purpose(s) for which the land is dedicated or reserved. The proposed multiple categorisations of Church Street Reserve and Windsor Preschool which correspond with the current reserve purposes of Public Recreation and Child Welfare Purposes are shown in Figure 8.
- Prepare and adopt a Plan of Management for the dedicated or reserved Crown land in accordance with the Plan of Management provisions of Division 2 of Part 2 of Chapter 6 of the *Local Government Act 1993*.

The CLM Act provides that any existing lease, licence or permit issued under the *Crown Lands Act 1989* will continue for its agreed term. From 1 July 2018 all new leases, licences and permits are issued under the new legislation.

Section 3.15 of the CLM Act also allows the Minister to make, and publish in the NSW Government Gazette, Crown land management rules "for or with respect to the management of dedicated or reserved Crown land by Crown land managers".

The *Crown Land Management Regulation 2018* supports the new *Crown Land Management Act 2016*. Crown Land Managers must comply with Crown land regulations which prescribe principles and rules relating to the use and management of Crown land in NSW.

Crown land has significant spiritual, social, cultural and economic importance to the Aboriginal people of NSW. The Crown Land Management Act recognises and supports Aboriginal rights, interests and involvement in Crown land.

Crown Land 2031 – State Strategic Plan for Crown Land June 2021

This 10-year vision will guide how Crown land in NSW will be used for the years to come.

The plan includes a roadmap of priorities, outcomes and enablers that are all steps in delivering a vision where Crown lands supports resilient, sustainable and prosperous communities across NSW. The plan also sets out an approach that will enable the use of Crown land to evolve to meet changing community needs.

3.3.2 Aboriginal Land Rights Act 1983

The *Aboriginal Land Rights Act 1983* (ALR Act) recognises the rights of Aboriginal people in NSW. The Act seeks to compensate Aboriginal peoples (who may or may not also be native title holders) for past dispossession, dislocation and removal of land in NSW.

Aboriginal land claims may be placed on any Crown land in NSW. The Department of Planning and Environment is responsible for investigating claims as defined in the ALR Act. If a claim is established, the land is transferred to the Aboriginal Land Council as freehold land.

As at the date of adoption the reserves subject to this Plan of Management are subject to an undetermined Aboriginal land claim.

3.3.3 Local Government Act 1993

Classification

The *Crown Land Management Act 2016* requires categorisation of Crown land according to the *Local Government Act 1993* and consistent with the public purpose(s) of the Crown reserve. A category assigned to Crown land, using the guidelines for categorisation in the *Local Government (General) Regulation 2021*, reflects the Crown's intentions for future management and use of the land.

The Oasis Aquatic and Fitness Centre is categorised as General Community Use in the Generic Plans of Management: General Community Use 2011. The parkland in the reserve is categorised as Park in the Generic Plans of Management: Parks 2011. Windsor Preschool is not included in a Plan of Management.

The initial categorisation of Crown land in Church Street Reserve as Park and General Community Use was approved by DPHI-Crown Lands in 2020.

Figure 8 shows the categorisation of Crown land in Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool as General Community Use and Park.

Figure 8 Categorisation of Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool



The guidelines and core objectives of the Park and General Community Use categories are set out below.

Table 10 Guidelines for categories of Crown land at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Category	Guidelines ¹	Areas of Church Street Reserve/ Oasis Aquatic and Fitness Centre and Windsor Preschool
Park	Land that is, or is proposed to be, improved by landscaping, gardens or the provision of non-sporting equipment and facilities, for use mainly for passive or active recreational, social, educational and cultural pursuits that do not unduly intrude on the peaceful enjoyment of the land by others.	Parkland Play space Off-leash dog exercise area
General Community Use	Land that may be made available for use for any purpose for which community land may be used, whether by the public at large or by specific sections of the public.	Hawkesbury Oasis aquatic and fitness facilities Land within the Oasis fenceline Windsor Preschool Carparks

Refer to Section 4.3.3 for the core objectives of the Park and General Community Use categories.

Use agreements

The requirements of the Local Government Act 1993 regarding leases, licences and other estates are in Section 6.

3.3.4 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* (EPA Act) establishes the statutory planning framework for environmental and land use planning in NSW through:

- State Environmental Planning Policies (SEPPs).
- Local Environmental Plans (LEPs). The Hawkesbury Local Environmental Plan 2012 applies to Church Street Reserve and Windsor Preschool.

State Environmental Planning Policy (Transport and Infrastructure) 2021

The SEPP (Transport and Infrastructure) assists local Councils and communities by simplifying the process for providing essential infrastructure and enabling greater flexibility in the location, development and maintenance of infrastructure and service facilities. It includes specific planning provisions and development controls for a range of infrastructure works or facilities including parks and other public reserves, roads, emergency services, electricity delivery, and telecommunications networks. The clauses relevant to permissible works at Church Street Reserve and Windsor Preschool are in Section 5 of this plan.

3.4 Hawkesbury City Council Plans

The local planning framework is governed by the Hawkesbury Local Strategic Planning Statement, Community Strategic Plan, Delivery Plan and Operational Plan, the Hawkesbury Local Environmental Plan 2012, and the Hawkesbury Development Control Plan.

3.4.1 Hawkesbury Local Strategic Planning Statement

Council's Planning Priority 1 is to 'bridge the shortfall of infrastructure through stakeholder collaboration to support current and future growth.' A corresponding action is to "seek funding, investigate and deliver leisure and sporting related facilities at appropriate locations."

¹ Local Government (General) Regulation 2021

3.4.2 Hawkesbury Community Strategic Plan 2022–2042

The Hawkesbury Community Strategic Plan 2022–2042 sets out strategies to achieve Council’s aims for relevant community and assets outcomes in Hawkesbury City:

Table 11 Community outcomes and objectives

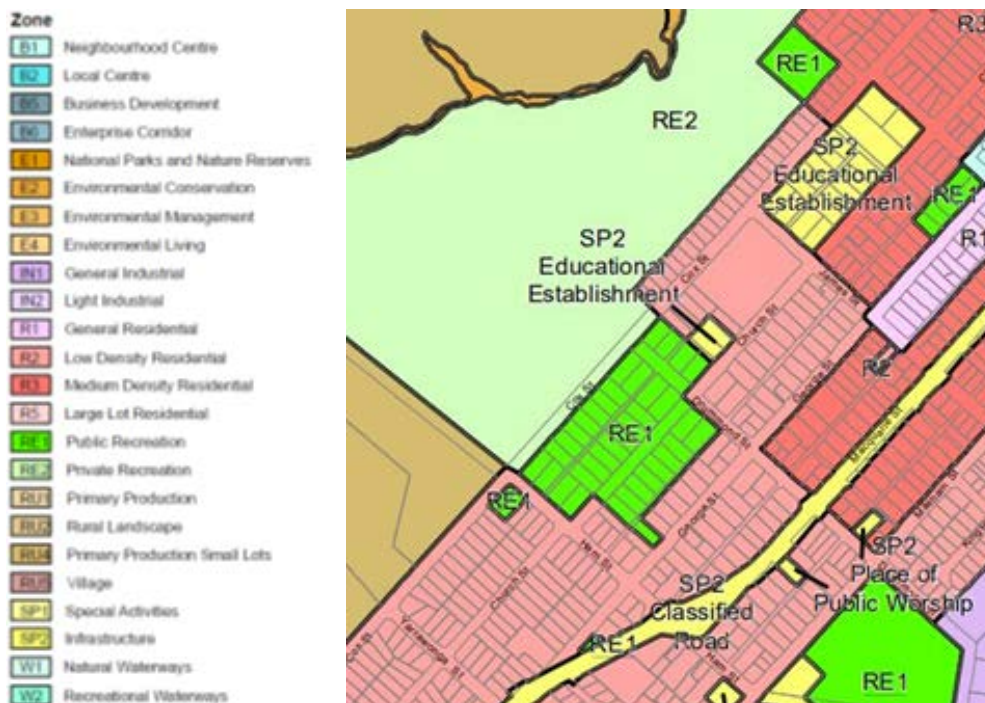
Community Outcomes	Intent	Long term objectives	Success indicators
Great place to live	Council will continue to partner with the community and key service providers to deliver outcomes which support a connected, healthy and inclusive Hawkesbury	1.2 Encourage and enable our community to participate in a healthy lifestyle	Our recreational, leisure and cultural facilities will be well used and well regarded
		1.5 Provide the right places and spaces to serve our community	We will enjoy and use our local sporting, leisure and cultural facilities as they meet our needs
		1.6 Build on a sense of community and wellbeing	
		1.7 Encourage broad and rich celebration of our local culture and significant heritage	
Protected environment and valued history	Through leadership, stewardship and education, ensure that our natural and historic built environments are protected and enhanced in culturally sensitive ways for the current community and for future generations.	2.1 Value, protect and enhance our historic built environment as well as our relationship to Aboriginal and non-Aboriginal history	We value our historic built environments and take active steps to protect and enhance them
		2.2 Value, protect and enhance our natural land-based environment with an emphasis on using local resources and key partnerships	We value our waterways and wetlands and our land-based natural environments and take active steps to protect and enhance them
		2.5 Value, protect and enhance our waterways and wetlands with an emphasis on using local resources and key partnerships	
Strong economy	Be a place that is vibrant, attractive and welcoming to residents and visitors, and which treasures and celebrates our shared history, environment, local economy and lifestyle	3.3 Promote our community as the place to visit, work and invest	
		3.5 Celebrate our creativity and cultural expression	
Reliable Council	Be a respected civic leader through consistent, transparent and engaged decision making the community can understand	4.8 Facilitate the delivery of infrastructure through relevant agencies and Council’s own works	The delivery of services to the community is of the highest quality Our assets will be managed effectively to ensure ongoing sustainability

3.4.3 Hawkesbury Local Environmental Plan 2012

Zoning

Church Street Reserve/Oasis Aquatic and Fitness Centre is zoned as RE1 Public Recreation, and Windsor Preschool is zoned as SP2 Educational Establishment as shown in Figure 8.

Figure 9 Zoning of Church Street Reserve and Windsor Preschool



Refer to Section 5.1 for permissible uses according to the zoning.

Terrestrial Biodiversity

The Hawkesbury Local Environmental Plan 2012 identifies the trees in the western corner of Church Street Reserve as Significant Vegetation.

Figure 10 Terrestrial biodiversity



Acid Sulfate Soils

Class 5 acid sulfate soils underlie Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool which does not restrict development approval.

Flooding

Church Street Reserve and Windsor Preschool are affected by the 1 in 100 year flood level, so Clause 6.3 – Flood Planning of the Hawkesbury Local Environmental Plan 2012 and Council’s Flood Policy 2020 will apply to future development.

Council considers that the current and proposed use of the reserves for recreation and community uses are compatible with the flood affectation of the land, including the flood hazard classification.

3.4.4 Hawkesbury Regional Open Space Strategy 2013

The Hawkesbury Regional Open Space Strategy (HROSS) 2013 assessed the provision of open space in South Windsor at that time (refer to Section 3.3).

The broader objectives of the Hawkesbury Regional Open Space Strategy are to:

- Improve the open space provision in terms of quality, quantity, accessibility and safety
- Improve linkages within and between the open space networks
- Ensure open space meets the needs of the Hawkesbury community and promotes greater social inclusion
- Ensure open spaces enhance the quality of the local environment
- Provide a clear framework for investment priorities and actions.

Church Street Reserve/Oasis Aquatic and Fitness Centre has the potential to be a destination on the proposed ‘River Experience’ route shown on the Hawkesbury Open Space Structure Plan in Figure 11.

Figure 11 Hawkesbury Open Space Structure Plan



Source: Hawkesbury Regional Open Space Strategy (Clouston Associates and OneEighty, 2013)

The Implementation Plan for the HROSS provides recommended actions to enhance the City's recreation and open space qualities and opportunities. The core threads of the Implementation Plan include:

- Focusing on the basics first:
 - Providing more shade, seating, paths, planting and play
 - Providing for basic kickabout in local parks
 - Ensuring that sports parks also provide for passive recreation and spectator amenity
 - Meeting changing trends in sport by greater facility flexibility and adaptability
 - Addressing flood and climate change impacts through design and planning
 - Focusing on enhanced environmental health.
- Improving access and connectivity:
 - Better connecting residential areas to the park system by cycle and walking routes
 - Improving universal access for all ages
 - Promoting more walking and cycling through enhanced off road facilities.
- Making more of what's there:
 - Reviewing all open space for opportunities to consolidate, acquire and rationalise all with the focus on improved recreation access, quality and diversity
- Drawing on the City's unique character, identity and heritage:
 - Enhancing natural health of the landscape as part of recreational upgrades (creeks, foreshores, bushland)
 - Link the historic towns and cemeteries through the recreational network
- Developing partnerships:
 - Supporting community interests, programs and volunteering.

The Planning and Design Guidelines following on from the HROSS set out desirable requirements for the planning and design of district sports parks and passive parklands.

3.4.5 Hawkesbury Access and Inclusion Plan 2014–2017

The Hawkesbury Access and Inclusion Committee found that the main barriers to inclusion within the City of Hawkesbury relate to transport and physical access, particularly the lack of footpaths, appropriate signage and accessible public toilets/amenities and sporting and recreation facilities.

3.4.6 Council Policies

Relevant Hawkesbury City Council policies are:

- Access
- Access and Inclusion
- Asset Management
- Authority to Launch/Land Hot Air Balloon
- Circus
- Community Buildings, Provision, Management and Use
- Community Gardens
- Development of Flood Liable Land
- Emergency Helicopters – Use of Council Land
- Filming Application
- Interpretive Signage and Public Art
- Wet Weather.

3.4.7 Local Open Space Context

The context of open space in South Windsor is shown in Figure 12. Church Street Reserve is numbered as SW05.

Figure 12 Open space in South Windsor



Figure OS.31 Township of Windsor showing accessibility and connectivity of Open Space

Source: Hawkesbury Regional Open Space Strategy 2013

4 BASIS FOR MANAGEMENT OF CHURCH STREET RESERVE/OASIS AQUATIC CENTRE AND WINDSOR PRESCHOOL

4.1 Introduction

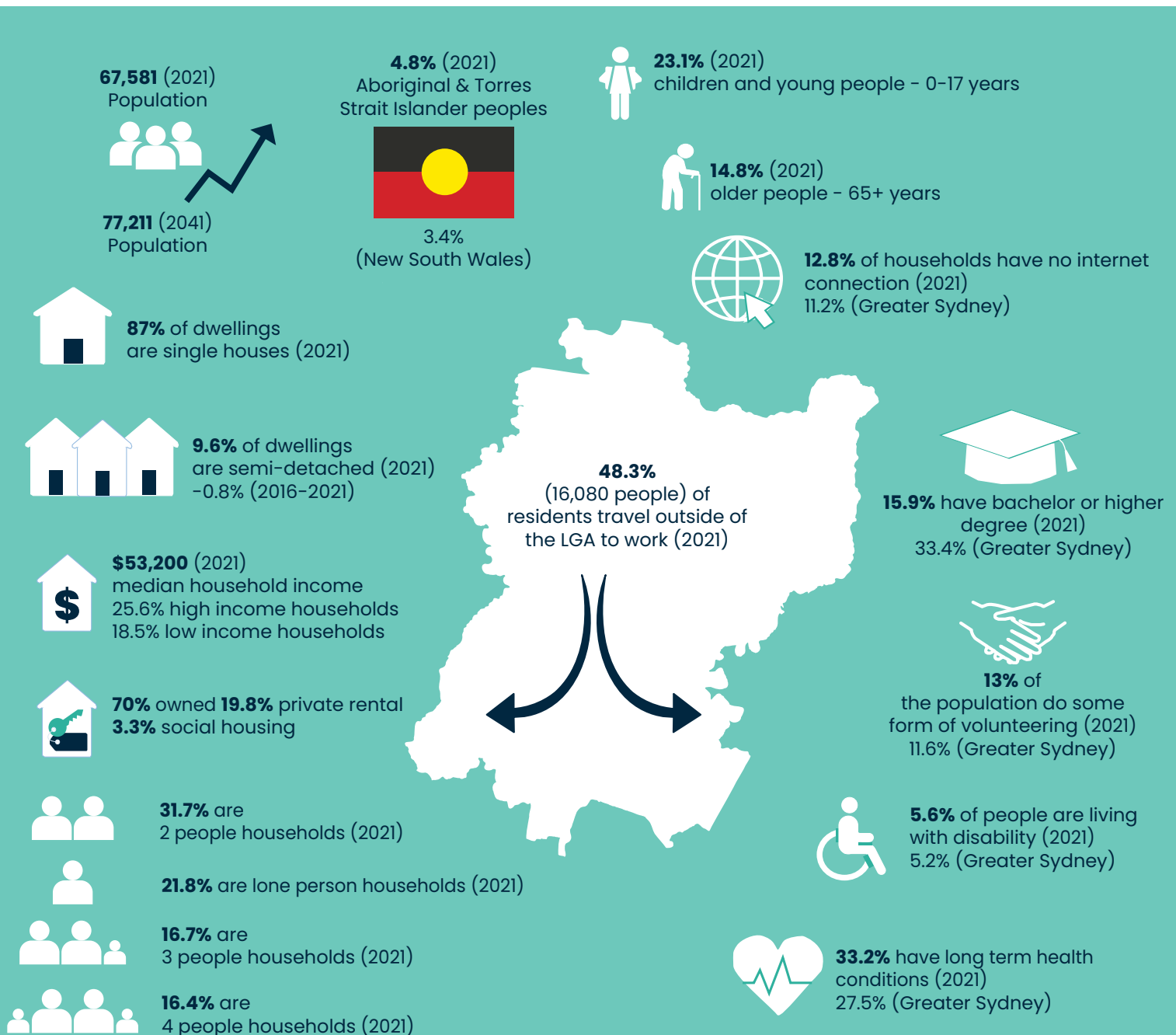
This section defines the specific roles and objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool based on community values and management directions of Hawkesbury City Council and the Department of Planning, Housing and Infrastructure–Crown Lands.

4.2 The Community

4.2.1 The Hawkesbury Community

Given that Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are in some respects a regional resource, the characteristics of the Hawkesbury City community are shown below.

Figure 13 The Hawkesbury Community



4.2.2 South Windsor Community

The characteristics of the South Windsor community (profile.id, 2021) are:

Relatively stable population

Total number of people increased by 0.9% between 2016 (5,893 people) and 2021 (5,948 people).

Younger population than In Hawkesbury City

The proportion of older people in South Windsor aged 50 years and over is 32% compared to Hawkesbury City 36%.

English is spoken at home by 84% of residents

Key non-English languages spoken at home are Filipino/Tagalog, Arabic, Punjabi and Greek.

Smaller households, less likely to include children

2.48 people per dwelling in South Windsor compared to 2.74 in Hawkesbury City.

Lower % of households are couples with children and one parent families (42.5%) than Hawkesbury City (47%).

Lower level of education

South Windsor (12% bachelor degree, 44% no qualifications) compared with Hawkesbury City (16% bachelor degree, 39% no qualifications)

Similar high employment rate

96% of the South Windsor and Hawkesbury City workforce were employed in 2021. 54% of employed people in South Windsor work full time and 29% part time

Employed people work in the following key industries

Construction (14%), health care and social assistance (12%), and retail (10%), key occupations are technicians and trades workers (19%), professionals (13%), and labourers (12%)

Lower household income than Hawkesbury City

13% of South Windsor households earned a high income \$3,000+ per week compared to 26% in Hawkesbury City.

Predominantly separate dwellings

75% separate houses, 24% medium density dwellings.

Half (50%) of dwellings are owned/mortgaged in South Windsor

26% privately rented and 15% are social housing.

Lower vehicle ownership

49% of households in South Windsor own two or more motor vehicles compared to 66% in Hawkesbury City. 8% of households do not own a car.

Lower SEIFA (Socio-Economic Indexes for Areas Index of Relative Socio-economic Advantage) scores

926.6 for South Windsor than Hawkesbury City 1025.9.

4.3 Community and stakeholder engagement

4.3.1 Introduction

Community and stakeholder engagement has been undertaken by and for Hawkesbury City Council on their expectations for open spaces. These activities occurred during preparation of the Hawkesbury Community Strategic Plan, the Hawkesbury Disability Inclusion Action Plan, and the Hawkesbury Social Infrastructure Assessment and Strategy 2024–2034.

The community has clearly articulated their desire for additional recreational infrastructure to support a healthy lifestyle.

A summary of feedback received from the community during preparation of this plan is provided below.

4.3.2 Process of Community and Stakeholder Engagement

Community and stakeholder engagement for this Plan of Management was undertaken regarding the proposed improvements to the OALC in 2024.

Further opportunities for engagement with the community will be undertaken through public exhibition of the Draft Plan of Management, at which time members of the community are invited to provide further comment and submissions.

4.3.3 Outcomes of Community Engagement

Community engagement undertaken for The Hawkesbury Oasis redevelopment in August 2024 showed that:

- Most Oasis users are casual users (46%) and/or users of the gym facilities (41%)
- The shallow depth pool, children’s splash park, additional change room facilities and an extended group fitness room are the proposed inclusions that survey respondents are most excited about.

Issues and opportunities raised are addressed in the Masterplan and the Action Plan tables in Section 6.

4.4 Values and Roles of Church Street Reserve/Oasis Aquatic Centre and Windsor Preschool

The Hawkesbury community places a high value on social infrastructure and open space and which are an integral part of the area in which they live. These values are expressed below.

Figure 14 Values of social infrastructure and open space in Hawkesbury City

What we value about social infrastructure and open space is ...



Being close to where people live, and creating central places for villages and communities to gather and meet.



Supporting the lifestyle and identity of the Hawkesbury, especially the network of green spaces, bushland and the natural surrounds.



Supporting community connections and bringing people together to get to know one another.



Providing space for sharing local stories, cultures and histories.



Providing infrastructure and facilities that support our community to be resilient.



Allowing an expression of Dharug and Darkinjung culture which is essential to the Hawkesbury's character and identity.



Reflecting, through the design and function, the heritage, local community, character and environment of the Hawkesbury.



Providing affordable spaces for communities and local entrepreneurs to thrive and create more opportunities locally.



Being inviting, accessible and inclusive for all people in our community by ensuring facilities and spaces are safe, easy to access, welcoming and where people feel they belong.

Source: Hawkesbury City Council (2024) Social Infrastructure Assessment and Strategy 2024-2034

The Hawkesbury community and site users value various aspects of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool for different reasons. By understanding the reasons why the community and users value Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool, the role that the community expects the park to play in the future may be determined.

The values outlined below reflect the outcomes from the community engagement process.

Table 12 Values and roles of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Values	Explanation	Significance	Roles
Open space	Church Street Reserve is 4.5 hectares of publicly available open space in a quiet, scenic semi-rural setting. The park is large enough to cater for a wide range of recreation activities.	Regional	Buffer between residential and commercial development and semi-rural properties Visual relief to surrounding development
Access and linkages	Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are situated within walking and cycling distance of residents, and schools in South Windsor. The park is free to use and accessible to everyone in the community The study area is accessible by public transport. Vehicle parking spaces are appreciated.	Local	Publicly accessible park and aquatic and fitness centre
Recreation	Church Street Reserve/Oasis Aquatic and Fitness Centre offers a range of multi-purpose facilities and spaces unique in South Windsor. These facilities and spaces offer compatible informal outdoor recreation activities for people of all ages and their companion animals to have fun and keep fit.	District	Venue for informal casual active and informal recreation and fitness activities Venue for competitive swimming Inclusive play space for all ages
Community/ social	Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are meeting places where the local community can gather for social interaction, family recreation activities and community activities.	District	Community indoor and outdoor gathering spaces Early childhood education
Natural/ environmental	The mature trees are valued for their shade and the reduction in urban heat, wildlife habitat, and their visual attractiveness.	Local	Emergency bushfire and flood refuge Wildlife habitat

4.5 Vision and management objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

4.5.1 Vision for Open Space and Parkland in NSW

50-Year Vision for Greater Sydney's Open Space and Parklands

The 50-Year Vision for Greater Sydney's Open Space and Parklands in the next 50 years is:

- A living and breathing city of parks for people to connect, exercise, reflect and celebrate
- A city of immense natural beauty, with incredible parklands, open spaces and waterways within its landscape
- A place where people are custodians and wholeheartedly embrace and care for open space and parklands
- Cool, connected and community-focused through the Greater Sydney Green and Blue Grid
- A city where open spaces and parklands are accessible, meaningful and sustainable, reflecting the stories of the city's ancient and recent past, and enhancing unique landscapes for stories yet to be told
- A place where open spaces and parklands are fundamental to everyday life, nurturing people while supporting a vibrant ecology and providing a home for a rich diversity of flora and fauna in the city and its neighbourhoods
- As much a parkland city as it is a harbour and river city, where people share access to diverse types of open space and parklands.

Strategic directions underpinning the 50-year vision for Greater Sydney's open space and parklands are:

- Growing a city of parks for people
- Connecting neighbourhoods to parks
- Keeping Sydney green and captivating
- Being smart and resilient.

The NSW Public Spaces Charter principles are:



Source: Department of Planning, Industry and Environment (2020)

4.5.2 Hawkesbury City Council Vision

Council's vision is outlined in the Hawkesbury Community Strategic Plan 2022–2042. It captures the vision of where our community as a whole would like to be 20 years from now:

“ We see the Hawkesbury as a vibrant and collaborative community living in harmony with our history and environment, whilst valuing our diversity, striving for innovation, a strong economy and retaining our lifestyle and identity. ”

The project aligns with the Hawkesbury City Council's corporate strategies and mission statements in the Community Strategic Plan as follows:

- Strategy of **“Participation in recreational and lifestyle activities is increased”** – through encouraging and enabling our community to participate in a healthy lifestyle.
- Mission of **“Building a Hawkesbury that's loved by its people”**
- Strategic Outcome measure **“a great place to live”**.

Consistent with the values and desired roles of Church Street Reserve and Windsor Preschool, the vision for it is:

“ Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will continue to be an integrated mixed-use district-level aquatic and land-based recreation and community park and Preschool that provides for various active and informal indoor and outdoor recreational, community and educational pursuits for the South Windsor and wider Hawkesbury community. ”

4.5.3 Principles of Crown Land Management

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be managed according to the principles of Crown land management embodied in the *Crown Land Management Act 2016* which are that:

- a. Environmental protection principles be observed in relation to the management and administration of Crown land, and
- b. The natural resources of Crown land (including water, soil, flora, fauna and scenic quality) be conserved wherever possible, and
- c. Public use and enjoyment of appropriate Crown land be encouraged, and
- d. Where appropriate, multiple use of Crown land be encouraged, and
- e. Where appropriate, Crown land should be used and managed in such a way that both the land and its resources are sustained in perpetuity, and
- f. Crown land be occupied, used, sold, leased, licensed or otherwise dealt with in the best interests of the State consistent with the above principles.

4.5.4 Core Objectives for Categories of Community and Crown Land

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is categorised as Park and General Community Use as shown in Figure 8.

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be managed according to the core objectives under the *Local Government Act 1993* for each relevant category for Crown and community land as set out below.

Park

The core objectives for community land categorised as **Park** are to:

- Encourage, promote and facilitate recreational, cultural, social and educational pastimes and activities
- Provide for passive recreational activities or pastimes and for the casual playing of games
- Improve the land in such a way as to promote and facilitate its use to achieve the other core objectives for its management.

General Community Use

The core objectives for community land categorised as **General Community Use** are to:

- Promote, encourage and provide for the use of the land, and to provide facilities on the land, to meet the current and future needs of the local community and of the wider public in relation to:
 - Public recreation and the physical, cultural, social and intellectual welfare or development of individual members of the public.
 - Purposes for which a lease, licence or other estate may be granted in respect of the land (other than the provision of public utilities and works associated with or ancillary to public utilities).

4.5.5 Reserve Purpose

The Crown land comprising Church Street Reserve/Oasis Aquatic and Fitness Centre will be managed consistent with its purpose of Public Recreation.

The Crown land comprising Windsor Preschool will be managed consistent with its purpose of Child Welfare Purposes.

4.5.6 Land Use Zoning Objectives

Hawkesbury City Council's objectives for the RE1 Public Recreation zone are to:

- Enable land to be used for public open space or recreational purposes.
- Provide a range of recreational settings and activities and compatible land uses.
- Protect and enhance the natural environment for recreational purposes.
- Protect and enhance the natural environment for environmental purposes.
- Restrict development on land required for future open space purposes.

Hawkesbury City Council's objectives for the SP2 Infrastructure zone are to:

- Provide for infrastructure and related uses.
- Prevent development that is not compatible with or that may detract from the provision of infrastructure.

4.5.7 Management Principles

Following on from the values, it is important to establish management principles for which recommendations for use and development of Church Street Reserve and Windsor Preschool will be made. As Crown land manager, Hawkesbury City Council intends to manage Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool to:

- Preserve the aspects of the reserves that are particularly valued.
- Limit additional developments that do not relate to the reserves' roles.
- Ensure continued public access where appropriate.
- Continue to provide high quality and well-maintained spaces and facilities.
- Maintain the current balance of sporting facilities to informal recreation areas.
- Provide opportunities for informal recreation, community uses, cultural activities, and social interaction
- Allow limited approved public cultural events which are ancillary to and supportive of the public recreational use of the precinct, and that have acceptable impacts on public recreational, residential and open space amenity.
- Minimise intensification of uses that have impacts on users and the local community.
- Ensure future uses are compatible with existing activities and the carrying capacity of facilities and settings.
- Ensure safety of visitors to the reserves.

The reserves will continue to be permitted to be used primarily for informal recreation, competitive and informal aquatic, fitness, social, community, educational and childcare activities, and events.

4.5.8 Roles and Management Objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre

The broader objectives for open space in the Hawkesbury Regional Open Space Strategy are to:

- Improve the open space provision in terms of quality, quantity, accessibility and safety
- Improve linkages within and between the open space networks
- Ensure open space meets the needs of the Hawkesbury community and promotes greater social inclusion
- Ensure open spaces enhance the quality of the local environment
- Provide a clear framework for investment priorities and action.

Following on from the vision for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool, the key management directions for the reserves are to:

- Consolidate the reserves as a destination aquatic and fitness centre and a community park
- Retain the open space, access and linkages, and active/informal recreation values of the park
- Improve and enhance existing facilities and uses while providing for new multi-purpose activities as funding permits
- Increase useability, functionality, usage, safety, amenities and overall appearance of the parkland, aquatic and fitness centre and Preschool
- Ensure any future development of the reserve and Preschool is appropriate to the site and reflects quality facilities that meet contemporary standards.

The vision for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is reflected in the Masterplan and the Action Plan in Section 6.

Council's objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre derived from the objectives for recreation and open space set out in the Hawkesbury Recreation and Open Space Strategy are to:

- Offer recreation opportunities for play and youth that reflect all ages and interests
- Optimise access to the public open space for all residents
- Enable simple wayfinding and provide accessible information and interpretation
- Enhance natural values, habitat connectivity and viability
- Protect major open space assets by location or adaptation to minimise flood damage
- Adapt parks to meet the potential impacts of climate change (flood, storm, high temperatures)
- Employ water sensitive design principles to stormwater and in all open spaces
- Establish and maintain the open space character of the South Windsor locality
- Draw on the history and natural environment in creating a local identity for the park
- Enhance basic amenity
- Administer sports to optimise recreation opportunity, involvement of the community, and provide equity of opportunity
- Develop and maintain the park to meet the principles of Crime Prevention Through Environmental Design
- Integrate community participation in the design, management and delivery of the open space and community hub.

These objectives have been used to guide policy development and formulation of the Action Plan.

5 FUTURE USES AND DEVELOPMENTS

5.1 Permitted Future Uses and Developments

5.1.1 Introduction

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will continue to be developed and used for a broad range of permitted uses.

5.1.2 Legislative Requirements

Introduction

Permissible uses and developments at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool must be in accordance with relevant legislation, particularly:

- *Crown Land Management Act 2016*
- *Native Title Act 1993*
- *Aboriginal Land Rights Act 1983*
- *Local Government Act 1993*
- SEPP (Transport and Infrastructure) 2021
- Hawkesbury Local Environmental Plan 2012
- Uses for which leases, licences and other estates may be granted on Crown land under the *Local Government Act 1993*, *Crown Land Management Act 2016*, and the *Crown Land Management Regulation 2018*
- Commonwealth legislation
- Any interests held on title.

Crown Land Management Act 2016

Use of Crown land must be consistent with:

- The principles of Crown land management
- The public purposes of Public Recreation and Child Welfare Purposes under the *Crown Land Management Act 2016*
- Any interests and rights granted under the *Crown Land Management Act 2016*.

Native Title Act 1993

Native title rights and interests must be considered on Crown land unless native title has been extinguished or surrendered or determined by a court to no longer exist.

When proposing any act that may affect native title on Crown land or Crown reserves the act must be authorised through Part 2 Division 3 of the *Native Title Act 1993*.

Examples of acts which may affect native title on Crown land or reserves managed by Council include:

- Construction of new buildings and other facilities such as toilet blocks, walking tracks, tennis courts, grandstands and barbecues
- Construction of extensions to existing buildings
- Construction of new roads or tracks
- Installation of infrastructure such as powerlines, sewerage pipes, etc.
- Creation of an easement
- Issue of a lease or licence
- Undertaking of major earthworks.

The *Native Title Act 1993* also contains provisions regarding public works. The Act defines a public work as:

- a. Any of the following that is constructed or established by or on behalf of the Crown, or a local government body or other statutory authority of the Crown, in any of its capacities:
 - i. A building, or other structure (including a memorial), that is a fixture; or
 - ii. A road, railway or bridge; or
 - iiia. Where the expression is used in or for the purposes of Division 2 or A of Part 2--a stock-route; or
 - iii. A well, or bore, for obtaining water; or
 - iv. Any major earthworks; or
- b. A building that is constructed with the authority of the Crown, other than on a lease.

Major earthworks are defined as: earthworks (other than in the course of mining) whose construction causes major disturbance to the land, or to the bed or subsoil under waters.

Where it is proposed to construct or establish a public work on reserved or dedicated Crown land, where native title is not extinguished, prior to approval Council will notify and give an opportunity to comment any representative Aboriginal/Torres Strait Islander bodies, registered native title bodies corporate and registered native title claimants in relation to the land or waters covered by the reservation or lease as required under the *Native Title Act 1993*. Refer also to Section 3.2.1.

Aboriginal Land Rights Act 1983

The *Aboriginal Land Rights Act 1983* provides land rights for Aboriginal people in NSW. The lodgement of an Aboriginal land claim by a Land Council creates an inchoate (unformed) interest in the land. The full extent of that interest is not known until the claim is investigated and a determination is made by the relevant Minister.

A Plan of Management must consider the inchoate interests of Aboriginal people where an undetermined Aboriginal Land Claim exists.

Hawkesbury Local Environmental Plan 2012

The Hawkesbury Local Environmental Plan 2012 sets out in general terms what types of developments are permissible within the RE1 zone.

All proposed uses, development and building works in this Plan of Management should be permissible under the applicable zoning in the Hawkesbury Local Environmental Plan 2012 and assessed if required through a Development and Building Application process consistent with the *Environmental Planning and Assessment Act 1979*.

Works and activities permitted under the RE1 Public Recreation and SP2 Infrastructure – Educational Establishment zones in Hawkesbury City are listed in Table 13.

Table 13 Permissible activities in applicable zoning

Permitted without consent	Permitted with consent		Prohibited
RE1 Public Recreation			
Environmental protection works	Aquaculture Boat sheds Centre-based child care facilities Charter and tourism boating facilities Community facilities Environmental facilities Extensive agriculture Farm buildings Flood mitigation works Food and drink premises Forestry Helipads Information and education facilities	Jetties Kiosks Markets Moorings Public administration buildings Recreation areas Recreation facilities (indoor) Recreation facilities (major) Recreation facilities (outdoor) Respite day care centres Roads Signage Water recreation structures Water storage facilities	Any other development
SP2 Infrastructure - Educational Establishment			
Environmental protection works Home occupations	Aquaculture Community facilities Public administration buildings Roads	The purpose shown on the <i>Land Zoning Map</i> ie. Educational Establishment, including any development that is ordinarily incidental or ancillary to development for that purpose.	Any other development

Any Development Applications, proposed works and major management issues will be advertised to the community for information and to invite comment.

State Environmental Planning Policy (Transport and Infrastructure) 2021

Division 12 of the *SEPP (Transport and Infrastructure) 2021* provides for development which is:

- Permitted without consent on a Crown reserve if the development is to implement an adopted Plan of Management for the land (Clause 65 (2) (d)).
- For certain purposes by or on behalf of Council without consent on a public reserve under the control of or vested in Council (Clause 65 (3)).
- Exempt from planning consent if it is carried out by or on behalf of a public authority on a public reserve (Clause 66).

Clause 66 of SEPP allows for certain construction or maintenance works to be undertaken as “exempt development”, subject to certain conditions and compliance requirements set out in Clause 20 in parks and other public reserves, including Crown land under a Crown land manager. Such exempt development must involve “no greater disturbance of native vegetation than necessary” and “not result in an increase in stormwater run-off or erosion.”

Clause 65 of the SEPP also permits specified works to be undertaken on community land or Crown land under a Crown land manager without consent “if the development is for the purposes of implementing a plan of management adopted for the land”.

Commonwealth Legislation

Council recognises that under the *Telecommunications Act 1997* Church Street Reserve/ Oasis Aquatic and Fitness Centre and Windsor Preschool may be a desirable location for the location of a telecommunications installation. 'Low impact' telecommunications installations are permissible on community land without authorisation in a Plan of Management and without Council approval.

This Plan of Management authorises the granting of a lease or licence for the erection and use of telecommunications towers, provided the proposal is put on public exhibition prior to a Council resolution permitting the use. A rental fee will be payable to Council.

5.1.3 Preferred Future Developments and Uses

Church Street Reserve/Oasis Aquatic and Fitness Centre is generally intended to be South Windsor's district level principal recreation facility to be used for aquatic, informal recreation, social/community activities, and other compatible activities. Developments and structures are limited to those which support the desired activities, consistent with the Masterplan (Figure 15).

Windsor Preschool will continue to be used for early childhood education and child welfare purposes.

This Plan of Management expressly authorises development of new buildings and structures, and future redevelopment/refurbishment of buildings and structures, which support the desired uses of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool for recreation, educational and community/social activities and environmental protection.

Any use or development that would further encroach on the open space of the reserves should be minimised, unless it can be shown that the proposed use or development is a more efficient use of the space, has a community benefit, and is consistent with the objectives of this Plan of Management.

Permitted uses and developments must support and enhance the other values of the reserve ie. open space, access and linkages, recreation, community/social, and the natural environment.

Such buildings and structures will be consistent with:

- The Masterplan for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool (Figure 15) which proposes new and upgraded spaces and facilities and improved access and connecting pathways at the Hawkesbury Oasis Aquatic and Fitness Centre.
- Site constraints, particularly flood risk.

This Plan of Management authorises the construction of relevant structures for the purposes of stormwater collection, treatment, retention and irrigation as prescribed in Section 28 of the Regulation.

This Plan authorises the continued use of drains, channels and easements, and the creation of new drains, channels and easements.

5.1.4 Authorised Uses and Development at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Introduction

This Plan of Management expressly authorises development of new buildings and structures, and future redevelopment/refurbishment of buildings and structures, which support the desired uses of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool for outdoor and indoor recreation, active and informal recreation, community/social/ educational/cultural activities and other compatible activities.

Purposes for which any further development of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be permitted (under lease, licence or otherwise) are outlined in this Plan of Management, consistent with the public purpose of Crown land and categorisation of community land, any approved Development Application, and any provision of an applicable development control plan for exempt and complying development.

Permitted uses and developments must support and enhance the other values of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool including open space, access, recreation, community/social and the natural environment.

Any use or development that would further encroach on the open space of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool should be minimised, unless it can be shown that the proposed use or development:

- Is a more efficient use of the space
- Has a community benefit
- Is consistent with the objectives of this Plan of Management.

Authorised Uses and Developments

This Plan of Management authorises the following uses and developments at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool, including but not limited to those listed in Table 14. Some of the activities and developments listed below may require development consent.

The facilities on community land may change over time, reflecting the needs of the community.

Table 14 Permissible uses of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Purpose/Use	Park category	General Community Use category
Accommodation (temporary) for animal carers, evacuees in emergencies	•	•
Art, including painting, sculpture	•	•
Ceremonies	•	•
Childcare / vacation care / out of school hours care	•	•
Classes (sport, leisure, recreation, training)	•	•
Commercial uses ancillary to aquatic facilities and usage (physiotherapy, etc.)		•
Community, special and cultural events, gatherings	•	•
Concerts (music, outdoor theatre)	•	•
Corporate days, promotions, displays	•	•
Cycling – leisure, active transport/ transit	•	
Delivering a public address or speech	•	•
Dog exercise (Off-leash only in the dog off lead area. Prohibited within 10 metres of the playground and food and beverage consumption areas. On-leash only elsewhere)	•	
Earthworks	•	•
Education, including early childhood education	•	•
Emergency purposes, including training	•	•
Environmental management and monitoring	•	•
Environmental protection works	•	
Event “live site”	•	•
Filling, leveling or draining of land	•	•
Filming and photography, subject to Council approval	•	•
Flora, fauna and archaeological surveys	•	•
Functions	•	•
Habitat creation	•	
Helicopter take-off and landing (in medical emergencies only)	•	
Indoor and outdoor recreational activities compatible with the use of all facilities	•	•
Informal ball games and recreation	•	•
Interpretation (historical, environmental)	•	•

Purpose/Use	Park category	General Community Use category
Irrigation and drainage	•	•
Landscaping, gardening	•	•
Livestock evacuation site (temporary)	•	
Maintenance and emergency vehicle access	•	•
Maintenance of facilities	•	•
Markets and fairs	•	•
Meetings	•	•
Organised and unstructured active and passive recreational activities and programs	•	•
Outdoor cinema	•	•
Performances including concerts, stage	•	•
Personal and group fitness training, subject to Council approval	•	•
Pest control (invertebrate and vertebrate)	•	•
Picnics and barbecues	•	•
Play activities (all ages, abilities)	•	•
Product launches	•	•
Revegetation, returfing	•	•
Running / jogging	•	•
Sporting activities including training, competition, events, tuition	•	•
Stormwater collection, treatment, recycling, retention, irrigation	•	•
Vehicle parking, including overflow parking during large scale sporting and special events	•	•
Walking	•	•
Weed management	•	•

Table 15 Permissible developments to facilitate uses at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Development to facilitate uses	Park category	General Community Use category
Access for people of all abilities	•	•
Amenities	•	•
Barbecues	•	•
Bicycle related storage facilities/racks	•	•
Café / kiosk / canteen	•	•
Carparks	•	•
Commercial development ancillary to and supporting existing uses	•	•
Community facilities for social, educational, cultural and recreation purposes		•
Community garden	•	
Complying and exempt development	•	•
Drainage works: complementary to the natural drainage patterns on the land, and to protect roads, services, or other facilities on the land	•	•
Easements to private property: temporary or permanent access across Church Street Reserve and Windsor Preschool where appropriate and in compliance with the requirements of the <i>Local Government Act 1993, Local Government (General) Regulation 2021</i> and other relevant legislation and policy.	•	•
Educational facilities		•
Electric vehicle charging station	•	•
Environmental facilities	•	•
Environmental protection works	•	•
Fencing	•	•
Fitness/exercise equipment	•	•
Flagpoles or smart poles	•	•
Food and beverage outlet (mobile, temporary)	•	•
Food preparation and related facilities	•	•
Hardstand for event structures	•	•
Indoor sport and fitness training facilities		•
Irrigation and drainage structures and systems	•	•

Development to facilitate uses	Park category	General Community Use category
Landscaping (hard and soft), including landscape structures or features	•	•
Lighting: for leisure activities, public safety and the protection of assets	•	•
Park furniture	•	•
Park maintenance staff amenities	•	•
Picnic tables, shelters and barbecues	•	•
Play equipment, softfall, shade structures	•	•
Public utilities	•	•
Scoreboard/timing infrastructure		•
Seating	•	•
Shelters and shade structures	•	•
Signage – locational, directional, interpretive, regulatory	•	•
Sport ancillary purposes		•
Sports courts (indoor, outdoor)	•	•
Stormwater storage tanks and pipes	•	•
Take away food or drink premises	•	•
Temporary advertising structures which relate to approved uses/ activities, are internally directed and approved by Council	•	•
Toilets	•	•
Utility installations	•	•
Vehicle access, parking and loading/unloading areas (emergency and authorised vehicles only)	•	•
Vehicle barriers	•	•
Viewing area / platform	•	•
Walking/cycling tracks/paths, raised paths/ boardwalks, ramps, stairs, gates	•	•
Waste management	•	•
Water pumps, tanks and the like for irrigation and drainage	•	•
Water sensitive urban design structures such as rain gardens, swales	•	•
Work sheds or storage required in connection with maintenance	•	•

5.1.5 Restricted and Prohibited Activities

Restricted and prohibited activities and developments in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are listed in the Hawkesbury Local Environmental Plan 2012 and on signage in the reserves.

Activities that are prohibited or restricted at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool include, but are not limited to:

- Breaking or leaving any bottle, glass, syringe or other objects likely to endanger the safety of any person
- Camping or staying overnight
- Depositing rubbish
- Discharging of rifles or firearms
- Dogs off leash except in designated areas
- Dogs within 10 metres of playgrounds and food preparation areas
- Fireworks without approval
- Flying of model aeroplanes or drones
- Any game or activity likely to damage property, injure, endanger or cause nuisance to any other person
- Helicopter landings, except in emergencies
- Horse riding
- Interfering with or damaging any Council building, equipment, furniture, landscaping, tree, plant or flora
- Leaving of dogs' faeces (removal and proper disposal is required)
- Lighting of fires, except in Council constructed fireplaces or portable barbecues
- Practising of golf or archery
- Remote control vehicles including model aeroplanes and cars
- Taking of unauthorised motor vehicles or motorised bikes, except in constructed carparks and driveways
- Smoking within 10 metres of playground.

Conduct which is prohibited in dedicated or reserved Crown land are listed in Clause 9 of the *Crown Land Management Regulation 2018*.

Activities that can be prohibited on Crown land by direction or notice under Part 9 of the *Crown Land Management Act 2016* are listed in Clause 13 of the Regulation.

Activities at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool must be consistent with the applicable zoning.

Activities at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool may be prevented or restricted by public health orders such as during a pandemic.

5.1.6 Guidelines for Buildings and Other Structures

This Plan of Management expressly authorises development of new buildings and structures, and redevelopment/refurbishment of existing buildings and structures, which support the desired uses of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool and are consistent with the reserve purposes of Public Recreation and Child Welfare Purposes, and the categorisations of Park and General Community Use.

The location, size and scale of future buildings and structures at Church Street Reserve/ Oasis Aquatic and Fitness Centre and Windsor Preschool will be consistent with:

- Community needs
- Physical site constraints
- Best practice design standards including Australian Standards and NSW Better Places guidelines.

Design considerations for Church Street Reserve and Windsor Preschool include to:

- Create multi-functional open spaces that provide settings for activities and events
- Provide tree planting for shade and to reduce urban heat whilst maintaining views from adjoining streets
- Encourage walking and cycling access and maximise connections to other open space areas
- Enhance safety and personal security through the use of Crime Prevention Through Environmental Design (CPTED) principles
- Be accessible and inclusive for the entire community
- Provide inclusive play opportunities according to the 'Everyone Can Play' guidelines.

Landscaping

Landscaping works will be undertaken consistent with Hawkesbury Development Control Plan 2012 Part C: General Guidelines.

Building Envelopes

Building envelopes should align with the requirements in the Hawkesbury Development Control Plan 2012.

Access

Access to new facilities on the site and any refurbishment of those structures will be provided according to relevant Australian Standards for access and mobility.

Access and seating for people with disabilities should comply with the Disability Discrimination Act and the Building Code of Australia.

Sustainable Development

All facilities and infrastructure (new and renewed), and maintenance of the reserve will integrate sustainability in terms of energy use, life cycle costs, source material impacts, and Water Sensitive Urban Design (WSUD).

All new structures and/or refurbishments of on-site structures will be low-scale, and of architectural and built form appropriate to the Western Sydney climate.

Planting

Planting will be undertaken consistent with Council's Urban Greening Strategy and Environmental Sustainability Strategy.

A 30% tree canopy cover across the site is proposed for urban cooling and biodiversity benefits.

Species selected for planting at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be native and endemic to the area where possible, and be appropriate for a highly modified and used parkland area located in a floodway. Certain deciduous and other exotic species are also appropriate for planting to provide shade and to reduce ambient temperatures. Plant selections will be considerate of existing soil condition. Soil remediation will be explored where new plants are proposed.

Native plant species endemic to the site that would be suitable for landscaping include Prickly-leaved Paperbark (*Melaleuca styphelioides*).

Planting within the reserves will be undertaken on a site-specific basis as shown on the Masterplan and for landscaping and shade needs.

5.1.7 Scale and Intensity of Future Uses and Development

Future works in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool are shown on the Masterplan in Figure 15.

The scale and intensity of future uses and development at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is dependent on:

- The nature of approved future uses and developments
- The carrying capacity of facilities and spaces and safety considerations at Church Street Reserve/Oasis Aquatic and Fitness Centre
- Leasing and childcare licensing provisions for Windsor Preschool
- Impact on adjoining residents and land uses in terms of noise, lighting, traffic and vehicle parking
- Consistency with the reserve purposes and categorisation.
- Approved Development Applications.

The scale and intensity of future uses and developments at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is constrained by:

- Their location in a floodway.
- Impact on adjoining residents and land uses.

Any proposal to use buildings, structures and spaces at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be considered on merit and balanced against physical constraints and the amenity of adjoining residents and land uses.

Any further intensification or variation to proposed development to that shown on the Landscape Masterplan in Figure 15 would be subject to a development application and further native title advice if required.

The benchmarks for the scale and intensity of future uses and developments permissible at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be physical disturbance and damage to facilities and spaces. The physical impacts of activities and uses on facilities and spaces should be regularly monitored. Review of permissible activities and developments will occur if site monitoring shows any deterioration from the present condition of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool resulting from those activities or developments.

Activities at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool may attract high numbers of people include swimming carnivals, cooling off in extreme hot weather, and community events. The intensity of use, multiple activities/uses, and real or perceived crowding/congestion or competition for open space and parking at facilities and spaces in Church Street Reserve and Windsor Preschool will be managed so as not to unreasonably compromise the amenity of park users, local residents and the community.

The number of people admitted to and catered for in the Oasis Aquatic and Fitness Centre is determined by staff based on community demand and number of users of the site. Oasis has various capacities and bather limits in line with programs and services offered. Usually these limits are associated with safety and/or staff-patron ratios or area capacity. The number of bathers is limited in hot/peak periods if required in line with the Centre Supervision policy. Each swimming lesson level has a maximum amount of students based on age/skill. Group fitness classes are capped based on space (usually 28 people for the group fitness room).

The intensity of use of informal recreation facilities and settings (such as the play space and dog off-lead area) would be determined by users of the site in terms of actual and perceived crowding.

The impact of traffic and parking associated with large scale events on local residents and businesses will be managed by preparing a Traffic and Parking Plan on a case-by-case basis.

At times, such as during a pandemic, Council would be required to implement public health directives to ensure social distancing at public open spaces and facilities, which may involve temporarily preventing access to specific facilities. Conversely, the response to a pandemic or similar situation would increase demand for walking, cycling and outdoor informal recreation opportunities. Church Street Reserve/Oasis Aquatic and Fitness Centre parkland is ideally placed to offer such local outdoor open space and exercise opportunities.

5.2 Use Agreements

5.2.1 What are Use Agreements?

The *Crown Land Management Act 2016* contains provisions for granting a lease, licence, other estate or easement (also referred to as use agreements) over Crown land managed by Council Crown Land Managers.

Leases and licences may be held by organisations such as sporting clubs and associations, community groups, schools, non-government organisations, charities, community welfare services, non-profit organisations and government authorities, or by private/commercial organisations or people providing facilities and/or services for public use.

A lease will be typically required where exclusive use or control of all or part of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is desirable for effective management. A lease may also be required due to the scale of investment in facilities, the necessity for security measures, or where the relationship between a major user and facilities on community land justifies such security of tenure.

Licences allow multiple and non-exclusive use of an area. A licence may be required where intermittent or short-term use or control of all or part of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is proposed. A number of licences for different users can apply to the same area at the same time, provided there is no conflict of interest.

The lease or licence must be for uses consistent with the reserve purpose, the assigned categorisation and zoning of the land, be in the best interests of the community as a whole, and enable, wherever possible, shared and multiple use of community land.

Any lease or licence proposal will be individually assessed and considered, including the community benefit, compatibility with this Plan of Management, and the capacity of the community land and the local area to support the activity.

5.2.2 Authorisation of Current Use Agreements

Several use agreements (leases, licences or other estates) currently apply to Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool as listed in Table 8. These agreements for Management and Operation of Oasis Aquatic and Fitness Centre, and lease of Windsor Preschool, are authorised until the end of their current term before the exercising of any options. However both agreements have expired. Council intends to tender for management of the Oasis Aquatic and Fitness Centre, and to renew the lease of the Windsor Preschool.

5.2.3 Considerations for Leases and Licences over Crown Land

The *Crown Land Management Act 2016* sets out requirements for granting leases, licences, permits, easements or right of way including secondary interests on dedicated or reserved Crown land.

Table 16 Leases and licences over dedicated or reserved Crown land

Section of Crown Land Management Act 2016	Lease and licence requirements			
3.22 Functions of Council as Crown Land Manager	As Crown Land Manager, Council must manage the land as if it were community land under the <i>Local Government Act 1993</i> . Council as Crown Land Manager can exercise all the functions that a local Council has under that Act in relation to community land, including in relation to leasing and licensing of community land.			
8.7 Advice of Native Title Manager required to grant interests	Where Council is Crown Land Manager, Council must obtain the advice of its native title manager prior to granting a lease, license or other permit, that it complies with any applicable provisions of the native title legislation.			
2.20 & 3.17 and <i>Crown Land Regulation 2018</i> Section 31 Short term licenses over dedicated or reserved Crown land	<p>Council as Crown Land Manager may issue short term licences on Crown land as if it were community land under the <i>Local Government Act 1993</i> for uses including:</p> <table border="0" data-bbox="376 882 1487 1406"> <tr> <td data-bbox="376 882 932 1406"> <ul style="list-style-type: none"> • Access through a reserve • Advertising • Camping using a tent, caravan or otherwise • Catering • Community, training or education • Emergency occupation • Entertainment • Environmental protection, conservation or restoration or environmental studies • Equestrian events • Exhibitions • Filming (as defined by the Local Government Act 1993) • Functions </td> <td data-bbox="940 882 1487 1406"> <ul style="list-style-type: none"> • Grazing • Hiring of equipment • Holiday accommodation • Markets • Meetings • Military exercises • Mooring of boats to wharves or other structures • Sales • Shows • Site investigations • Sporting and organised recreational activities • Stabling of horses • Storage. </td> </tr> </table>		<ul style="list-style-type: none"> • Access through a reserve • Advertising • Camping using a tent, caravan or otherwise • Catering • Community, training or education • Emergency occupation • Entertainment • Environmental protection, conservation or restoration or environmental studies • Equestrian events • Exhibitions • Filming (as defined by the Local Government Act 1993) • Functions 	<ul style="list-style-type: none"> • Grazing • Hiring of equipment • Holiday accommodation • Markets • Meetings • Military exercises • Mooring of boats to wharves or other structures • Sales • Shows • Site investigations • Sporting and organised recreational activities • Stabling of horses • Storage.
<ul style="list-style-type: none"> • Access through a reserve • Advertising • Camping using a tent, caravan or otherwise • Catering • Community, training or education • Emergency occupation • Entertainment • Environmental protection, conservation or restoration or environmental studies • Equestrian events • Exhibitions • Filming (as defined by the Local Government Act 1993) • Functions 	<ul style="list-style-type: none"> • Grazing • Hiring of equipment • Holiday accommodation • Markets • Meetings • Military exercises • Mooring of boats to wharves or other structures • Sales • Shows • Site investigations • Sporting and organised recreational activities • Stabling of horses • Storage. 			
2.19, 3.17 Secondary interests over dedicated or reserved Crown land	The Minister or Council may issue a secondary interest where they are satisfied it is in the public interest and would not be likely to materially harm use of the land for the purposes for which it is dedicated or reserved.			
2.18 Special provisions relating to Minister's powers over dedicated or reserved Crown land	The Minister may grant a lease, licence, permit, easement or right of way over dedicated or reserved Crown land for a facility or infrastructure, or any other purpose the Minister thinks fit. Before doing so, the Minister must consult the Crown land manager or the relevant government agency if the land is used, occupied or administered by an agency or the Minister to whom that agency is responsible. If the land is to be used or occupied under the relevant interest for any purpose except a purpose for which it is currently dedicated or reserved, a notice is to be published specifying the purposes for which the land is to be used or occupied under the relevant interest and be satisfied that it is in the public interest to grant the relevant interest.			

5.2.5 Express Authorisation of Future Use Agreements

Authorisation of Future Use Agreements

Use agreements over Crown land are dealt with in Division 3.4 of the *Crown Land Management Act 2016*, and Clause 70 of the *Crown Land Management Regulation 2018*.

This Plan of Management expressly authorises the issue of leases, licences and other estates over the land covered by this Plan of Management, provided that:

- The purpose is consistent with the purpose for which it was dedicated or reserved, and any purposes which have been added to the reserve
- The purpose is consistent with the guidelines and core objectives for the category of the land
- The issue of the lease, licence or other estate and the provisions of the lease, licence or other estate can be validated by the provisions of the *Native Title Act 1993* (Cth)
- Where the land is subject to a claim under the *Aboriginal Land Rights Act 1983* the issue of any lease, licence or other estate will not prevent the land from being transferred in the event the claim is granted
- The issue of the lease, licence or other estate will not materially harm the use of the land for any of the purposes for which it was dedicated or reserved.

Depending on the nature of the proposed lease or licence, Council would develop specific objectives and requirements tailored to the proposed use. Terms and conditions of a lease, licence or other estate should reflect the interest of the Council, protect the public, and ensure proper management and maintenance.

This Plan of Management expressly authorises the issue of leases, licences and other estates over the land in Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool categorised as Park and General Community Use as set out in Table 17 (below).

Agreements for Use of Buildings

This Plan of Management authorises the granting of a lease, licence, management agreement or similar of part or all of the building(s) associated with the Hawkesbury Oasis Aquatic and Fitness Centre and Windsor Preschool.

Short-term Casual Use and Occupation

Authorisation is granted for short-term casual use or occupation of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool for the following uses and occupations, provided the use or occupation does not involve the erection of any permanent building or structure.

Table 17 Authorised uses for short term casual use or occupation of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Proposed use	Land to which authorisation applies	Express authorisation of short term casual use or occupation for:
Sporting activities	Land categorised as General Community Use	School and club swimming carnivals Squad training
Social/ community events	Land categorised as Park, General Community Use	One-off or occasional community events such as markets One-off or occasional cultural, musical or entertainment events One-off or occasional festivals, events, ceremonies. Licences for social/community events will provide for the temporary erection of food stalls, stages, seating and amusement rides Licenses for picnics and family gatherings of more than 40 people
Commercial activities	Land categorised as Park and General Community Use.	Commercial uses which support the use of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool for informal recreation, and social/community activities, such as personal fitness training, café, mobile food/ beverage vans, and functions.
Vehicle parking	Land categorised as Park, General Community Use	Collecting monies for parking, provided that all monies collected be used for the maintenance and/or upgrading of facilities at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool.
Other short-term uses of community land	Land categorised as Park, General Community Use	Short term/temporary uses including: <ul style="list-style-type: none"> • Playing of a musical instrument or singing for fee or reward • Engaging in a trade or business • Playing of a lawful game or sport • Delivery of a public address • Commercial photographic sessions • Picnics and private celebrations e.g. weddings, family gatherings • Filming sessions. A licence or other estate may be granted in order to allow a filming project to be carried out, whether or not the project is in accordance with the Plan of Management or is consistent with the core objectives or the categorisation of the land concerned. • Markets and / or temporary stalls including food stalls. • Corporate functions • Other special events/ promotions provided they are on a scale appropriate to the use of a district field/court sports area and park, and to the benefit and enjoyment of the local community. • Emergency purposes, including training, when the need arises.

All short-term casual uses and occupation would be subject to Council's standard conditions for hire, approval processes, and booking fees. A temporary licence would be issued by Council as part of the approval process prior to the site being used for these activities. Organisers of the activity are subject to conditions of hire.

Large events would require preparation of a Traffic Management Plan as part of the application approval process.

Fees for short term, casual bookings will be in accordance with the fees and charges as published annually by Hawkesbury City Council.

5.2.6 Short Term Licences

Short term licences and bookings will be issued in accordance with the *Crown Land Management Act 2016* and its Regulation 2018.

5.2.7 Use Agreements by Tender

Leases, licences and other estates for the following purposes will be granted only after a public competitive tender process:

- Management and operation of the Oasis Aquatic and Fitness Centre
- Management and operation of Windsor Preschool
- Commercial activities
- Operation of a café/kiosk/canteen
- A lease or licence for a term exceeding five years, unless granted to a non-profit organisation
- Other leases/licences/other estates Council may want to tender.

Table 18 Express authorisation of leases, licences and other estates at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool

Purposes for which tenure may be granted			
Type of tenure arrangement	Maximum term	Park category	General Community Use category
Lease	21 years, or 30 years with approval from the Minister		<ul style="list-style-type: none"> • Aquatic and leisure/fitness operation and management • Café/kiosk for refreshment purposes, including outdoor seating and tables, with or without liquor licence • Childcare, before and after school care, vacation care • Commercial activities associated with and ancillary to Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool and aligned with its values in function, scope and scale • Educational purposes, including classes, workshops • Community services delivery and provision • Arts and cultural purposes, including concerts, dramatic productions • Recreational, community and leisure purposes, including fitness classes, dance classes, games • Sporting/fitness uses developed/operated by a private operator

Purposes for which tenure may be granted

Type of tenure arrangement	Maximum term	Park category	General Community Use category
Licence		<ul style="list-style-type: none"> • Mobile food/beverage vans • Advertising aligned with Windsor Preschool values and Council's policies • Hire or sale of recreational equipment • Sporting, community, recreational and related activities 	<ul style="list-style-type: none"> • Café/kiosk for refreshment purposes, including outdoor seating and tables, with or without liquor licence • Childcare, before and after school care, vacation care • Mobile food/beverage vans • Commercial activities associated with and ancillary to Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool and aligned with the values in function, scope and scale • Educational purposes, including education classes, workshops • Arts and cultural purposes, including concerts, dramatic productions • Recreational, community and leisure purposes, including fitness classes • Sporting, community, recreational and related activities

Purposes for which tenure may be granted

Type of tenure arrangement	Maximum term	Park category	General Community Use category
Short-term licence	Depending on activity and agreement with Council	<ul style="list-style-type: none"> • Including but not limited to: • Access through a reserve • Advertising (only for short-term event held in the reserve) • Catering • Coaching clinics • Community services and activities • Community events and festivals • Community training or education • Delivering a public address • Emergency occupation • Engaging in an appropriate trade or business • Entertainment • Environmental protection, conservation or restoration or environmental studies • Exhibitions • Filming (as defined by the <i>Local Government Act 1993</i>), including for cinema/ television including temporary erection or use of buildings or structures necessary to enable a filming project to be carried out • Functions – community, corporate • Hiring of equipment • Markets, fairs • Meetings • Military exercises • Mobile food/beverage vans • Outdoor cinema • Performances, playing a musical instrument or singing for fee or reward • Photography (still, commercial) • Picnics • Private celebrations (weddings and family gatherings) • Sales • Scientific studies, surveys • Shows • Site investigations • Sporting and organised recreational activities • Storage 	<ul style="list-style-type: none"> • Including but not limited to: • Access through a reserve • Advertising (only for short-term event held in the reserve) • Auctions and similar activities • Broadcasting or filming of sporting fixtures and still photography • Catering • Cinema • Coaching clinics • Community events and festivals • Community services and activities • Community training or education • Delivering a public address • Displays, exhibitions, fashion parades, shows • Emergency occupation • Engaging in an appropriate trade or business • Entertainment • Environmental protection, conservation or restoration or environmental studies • Exhibitions • Filming (as defined by the <i>Local Government Act 1993</i>), including for cinema/ television including temporary erection or use of buildings or structures necessary to enable a filming project to be carried out • Functions - community, corporate (e.g., commemorative functions, book launches, film releases, similar activities) • Hiring of equipment • Markets, fairs • Meetings • Military exercises • Performances, playing a musical instrument or singing for fee or reward • Photography (still, commercial) • Private celebrations (weddings and family gatherings) • Promotion or enhancement of sporting groups, fixtures and events (for example 'guest' events for juniors, gala days, club meetings) • Sales • Scientific studies, surveys • Seminars and presentations, including educational programs • Shows • Site investigations • Sporting and organised recreational activities, including ticketed events • Storage

Type of tenure arrangement	Maximum term	Park category	General Community Use category
Other estates	<p>The granting of easements over Crown land will be subject to the provisions of the <i>Native Title Act 1993</i>, Division 8.7 of the <i>Crown Land Management Act 2016</i>, and other applicable legislation.</p> <p>This Plan of Management expressly authorises the granting of easements over community land at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool for public utilities, providing pipes, conduits or other connections under the ground surface. This is limited to easements which connect premises adjoining community land to an existing water, sewer, drainage or electricity facility of Council or another public utility provider that is situated on the land. Such easements are authorised provided that:</p> <ul style="list-style-type: none"> • There is no feasible alternative to connecting to a facility on the land • There is no significant impact on the condition or use of the land • In all cases, the applicant is to be responsible for all costs incurred by Council in the creation of the easement. <p>Granting of easements for public utilities and stormwater management at Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is subject to conditions as required to ensure the protection of reserve assets, values and uses; and demonstration of a community and/or environmental benefit. Council will oppose the creation of any additional (foreign) services or utility installations, or easements, in or through Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool unless there is an advantage for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool and its management, or an overriding community or environmental benefit.</p> <p>Granting of easements above or on the surface of community land is not within the authority of this Plan of Management. These easements include, but are not limited to, piping to a natural watercourse, piping from a facility on community land to a facility on private land, and private vehicular or pedestrian access.</p>		

5.2.10 Exclusive Occupation and Private Purposes

Exclusive use of any area of Crown land is not desirable, as Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool should be available for use by anyone in the community. An exception is a use where the exclusion of the public is desirable for security of assets and public safety.

The exclusive occupation or use of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is only permitted for the purposes of any lease.

6 ACTION PLAN

6.1 Master Plan

The Masterplan for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool in Figure 15 has been developed by incorporating ideas and feedback from the community and aquatic centre and park users. The Masterplan provides an illustration of the future direction for the reserves to provide greater recreational and social opportunities, enhance existing uses, and improve the general amenity, functionality and capacity of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool. The Masterplan broadly shows the location of the spatial works and actions in the following Action Plan in Section 6.2 which are proposed to be implemented.

The Masterplan envisions a quality aquatic and fitness centre that meets contemporary standards. Proposed extensions and improvements to the Oasis Aquatic and Fitness Centre will expand upon the current centre within the existing boundary to include better amenities for patrons, including:

- New shallow-depth 15 metre x 10 metre multi-purpose program swimming pool for learn to swim and seniors programs, including accessibility ramp and hydrotherapy, accessible toilet and shower, on the southern side of the existing centre
- New multi-purpose training/media/audio-visual/meeting room
- New covered outdoor activities area adjacent to the existing gym and the program pool, with access from the gym and the pool deck
- New external covered and fenced softfall play area with opening wall access from the existing creche
- Extension to the aerobics gym
- Additional amenities (toilets and showers including accessible bathrooms)
- Extension to the change room for school age programs to be accessible from the outdoor 50 metre pool
- New covered deck to connect the changerooms to the outdoor café area
- Improved shading to the outdoor café seating area
- New children's splash park
- Additional seating
- Storage
- Touchpads at the end of the outdoor 50 metre pool
- Additional carparking (30 spaces) accessed via Drummond Street to cater for large events and peak periods
- Access ramps.

The Masterplan does not represent a formal commitment from Council to fund improvements shown on the Masterplan, as funding is not available to deliver the entire plan in the short or medium term. Potential improvements have been included on the Masterplan so future recreation opportunities are not precluded if funding becomes available. This holistic, long term approach ensures that Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be developed in a cohesive manner to maximise capacity and improve functionality.

It is expected that the Masterplan may change in minor ways depending on funding, Council priorities, etc.

High Priority Actions are:

- Extension of the Oasis Aquatic and Fitness Centre
- Upgrades to the park play space.

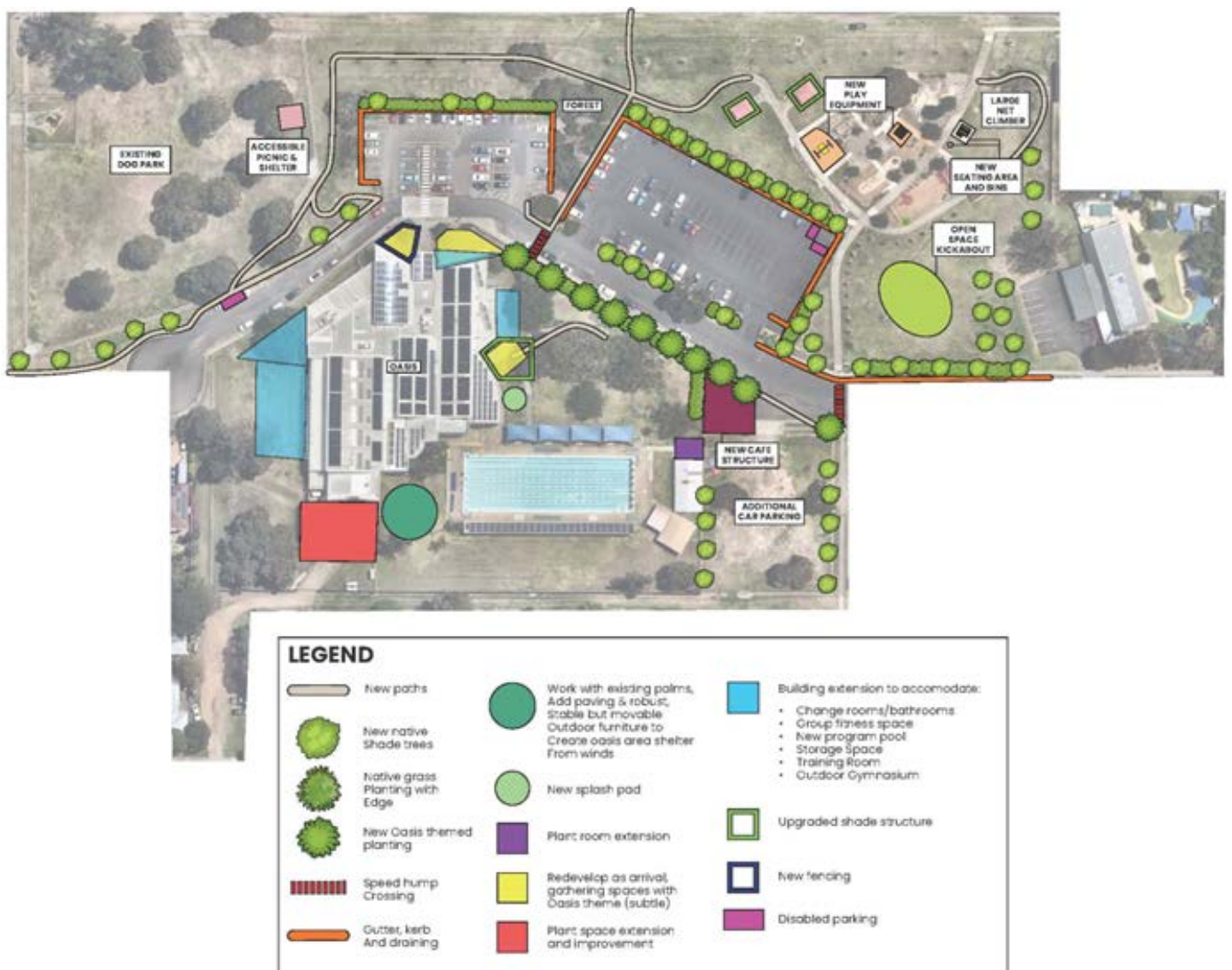
Key Long Term Actions are:

- Pathway connections
- Tree planting
- Shading car park areas.

Ongoing Actions

- Manage and monitor use of the aquatic and fitness centre and the parkland
- Carry out maintenance and capital works as required.

Figure 15 Church Street Reserve/Oasis Aquatic and Fitness Centre Masterplan



6.2 Action Plan

6.2.1 Introduction

The *Local Government Act 1993* requires Plans of Management for community and Crown land to:

- Contain performance targets.
- Specify the means of achieving objectives and performance targets.
- Specify how achievement of the objectives and performance targets is to be assessed.

This section outlines the actions required to implement the management direction for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool. The actions are displayed below in table form, and have been structured using the values of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool that the actions would enhance and protect. The table headings are explained as follows:

Need / issue	A need or an issue to be addressed
Background	Explanation of the need/issue
Performance target	Targets/strategies to achieve vision and objectives for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool, consistent with defined roles
Action	Tasks that will be undertaken to address needs/issues, and to achieve performance targets and objectives
Responsibility	Responsibility for undertaking the action: HCC Hawkesbury City Council
Means of assessing achievement	Methods of measuring and assessing the achievement of the action.

Any developments included in this Action Table require authorisation within this Plan of Management. Section 5 includes authorisation for future developments for Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool.

The timing of implementation depends on delays such as funding, and design or development approvals.

6.2.2 Open Space Actions

Table 19 Open Space Actions

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Sense of arrival	The arrival experience to Oasis is understated	Encourage a sense of arrival to Oasis and Church Street Reserve	Redevelop the arrival area of the Oasis centre with subtle Oasis theme and gathering spaces	HCC	Landscaping completed
Open space kickabout area	Flat grassed areas for informal games are limited	Provide a relatively flat area for informal and ball games to complement the play space	Designate an open space area for kickabout activities on the northern side of Church Street Reserve	HCC	Area used for informal games

6.2.3 Access and Linkages Actions

Table 20 Access and Linkages Actions

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Pedestrian crossings and pathways Pathways	Pedestrian circulation is not well defined	Provide safe pedestrian access between destinations in Church Street Reserve and OALC	Install speed hump pedestrian crossing points from the large car park to the footpath on the opposite side of the road and to the Oasis entrance	HCC	Pedestrian crossings installed
		Link destinations in the reserves with safe pathways	Develop pathways to link to Ham Street, Oasis and the open space areas	HCC	Pathways installed
Accessible parking spaces	Accessible parking is required close to Oasis	Provide accessible parking spaces	Designate an accessible parking space near the pathway junction south of Oasis	HCC	Accessible parking spaces available

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Carparks	Carparks require minor works	Upgrade access road and sealed carparks	Carry out kerbing, guttering and drainage works along the access road and in the sealed carparks	HCC	Minor works completed
	Car parking spaces are at a premium in hot weather	Provide overflow car parking	Designate and land-scape the additional grassed parking area north of the outdoor pool.	HCC	Overflow parking area in use when required

6.2.4 Recreation Actions

Table 21 Recreation Actions

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Improvements to Oasis Aquatic and Fitness Centre	Council has identified numerous opportunities for improvements, upgrades and extensions to Oasis Aquatic and Fitness Centre	Extend and upgrade Oasis Aquatic and Fitness Centre to meet community needs and expectations and management needs	Undertake the proposed extensions and upgrades to Oasis Aquatic and Fitness Centre (refer to Masterplan in Section 6.1) including new splash pad, outdoor gym, new program pool, group fitness space	HCC	Extensions and upgrades completed

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Play and picnic spaces	Play and picnic spaces in Church Street Reserve are well used	Provide new play equipment	Install new play equipment including a large net climber	HCC	Installation of park furniture shown on the Masterplan
		Upgrade the play and picnic space	Upgrade picnic shelters near the existing play equipment		
		Provide seating and other furniture to support users of the play and picnic space	Install new seating and bins north of the play space		
			Install an accessible picnic shelter south of the small carpark		
			Install a drinking bubbler in the play space		
Create links within the play space	Create pathway connections in the play space	HCC	Pathways in place		
Touch pads in 50m pool	Users of the 50m pool would benefit from touch pads for accurate timing	Upgrade the outdoor pool for swimming competitions and training	Install touch pads to the 50 metre outdoor pool.	HCC	Touch pads in operation

6.2.5 Community/Social Actions

Table 22 Community/Social Actions

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Café	The café in the Oasis building caters for aquatic centre users but other reserve users have to pay an entry fee to access the café	Construct a new café that services the broader community and patrons of the Oasis centre	Construct the café	HCC	Café constructed
Outdoor space at Oasis	The outdoor spaces at Oasis are popular for social gatherings	Create an outdoor space at Oasis which is sheltered from wind	Upgrade the Oasis centre grounds south of the outdoor 50m pool with paving and movable outdoor furniture around the existing palm trees	HCC	Sheltered outdoor area
Windsor Preschool buildings	The buildings at Windsor Preschool are scheduled for renewal in 2029-30	Ensure buildings at Windsor Preschool are fit for purpose	Undertake building renewal program at Windsor Preschool 2029-30	HCC	Building renewal program complete

6.2.6 Environmental/Sustainability Actions

Table 23 Environmental/Sustainability Actions

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Tree planting	There are opportunities to plant more trees in Church Street Reserve.	Increase tree canopy cover and shade in Church Street Reserve and Oasis Aquatic and Fitness Centre	Plant new native shade trees associated with the open space kickabout area	HCC	Healthy, established trees Increase in tree canopy cover Positive feedback from park and aquatic centre users
			Plant new Oasis themed planning on its north-west boundary		
		Increase shade cover in carparks	Plant new native shade trees and native grasses on the edges of carparks and access roads		

6.2.7 Management Actions

Table 24 Management Actions

Need/issue	Background	Performance target	Action	Responsibility	Means of assessing achievement
Oasis Aquatic and Fitness Centre agreement	The Agreement for Management and Operation of Oasis Aquatic and Fitness Centre has expired.	Ensure a current Agreement for Management and Operation of Oasis Aquatic and Fitness Centre	Seek tenders for operation and management of Oasis Aquatic and Fitness Centre	HCC	Tender process complete. Management agreement in place
			Regularly monitor services and management under Agreement for Management and Operation of Oasis Aquatic and Fitness Centre	HCC	Lessee is adhering to agreement
Windsor Preschool lease	The Windsor Preschool lease has expired.	Ensure a current lease is in place for management and operation of Windsor Preschool	Renew or tender the lease of Windsor Preschool.	HCC	Tender process complete. Lease agreement in place
			Regularly monitor services and management of Windsor Preschool under lease agreement	HCC	Lessee is adhering to lease terms and conditions
Reserve name	Church Street Reserve is better known by the community as 'Oasis Park' and 'Pool Park'	Gauge community appetite for changing the name of Church Street Reserve	Undertake community engagement about renaming Church Street Reserve.	HCC	Community engagement outcomes
			Liaise with the Geographical Names Board about formally renaming Church Street Reserve	HCC	Advice from Geographical Names Board
Play space safety	Safety of play equipment and spaces is of prime importance	Undertake regular independent playground safety inspections	Continue to undertake quarterly playground safety inspections.	HCC, play space inspector	Inspection report
Plant space	Additional space for plant is required at OALC	Extend and improve the plant space	Undertake works to the plant room and space at OALC	HCC	Inspection reports

7 IMPLEMENTATION AND REVIEW

7.1 Management

Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will continue to be managed by Hawkesbury City Council as Crown Land Manager in terms of facility management, use, improvements and maintenance.

Council will have oversight of any use agreements for activities on the site. Day-to-day management of any leased and licensed areas will be the responsibility of any lease or licence holder according to the terms of the lease or licence agreement.

Allocation of staff for management, maintenance and capital works will be monitored by Council on an ongoing basis to ensure that standards are maintained. If new facilities or extensive works are required then the need for additional staff or contractors will be assessed.

Development of new facilities will be carried out only by Council staff or contractors engaged by Council. Council or the lessees may also engage contractors to assist with the maintenance of Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool.

7.2 Maintenance

Hawkesbury City Council will continue to maintain all areas in the parkland.

The lessee will maintain Oasis Aquatic and Fitness Centre.

Council is responsible for structural works at Windsor Preschool that maintain and preserve the safety and structural integrity of the land and buildings in the leased area. The lessee is responsible for maintenance and repairs, and for keeping the Preschool and the outdoor areas in good and clean condition.

7.3 Monitoring

Implementation of actions in this Plan of Management according to their assigned priorities will be monitored by Council through the preparation of annual performance reports, budgets, and capital works programs.

Commencement and completion of the recommended actions in this Plan of Management depends on available Council resources, funding, and Council's priorities in its annual works program. The priority of each action should be reassessed annually to determine if the stated priority is still relevant.

7.4 Implementation

Once a Plan of Management for a Crown reserve has been approved and adopted by the Minister, the Crown Land Manager must carry out and give effect to the plan. Once Hawkesbury City Council adopts this Plan of Management it is Council's responsibility to implement this Plan of Management.

Implementation of actions in this Plan of Management according to their assigned priorities will be monitored through the preparation of annual performance reports, budgets, and capital works programs.

It should be recognised that commencement and completion of the actions in this Plan of Management depends on available Council resources, funding, and Council's priorities in its annual works program. The priority of each action should be reassessed annually to determine if the stated priority is still relevant.

Implementation of this Plan of Management will be monitored through the preparation of annual operational and capital works programs and budgets. Performance standards and works programs for administration, maintenance and upgrading works are revised each year to meet allocated budgets and works priorities determined in Council's Resourcing Plan.

7.5 Funding

This Plan of Management and Masterplan is not a commitment by Hawkesbury City Council for funding. It is not anticipated that the list of actions in the Action Plan would be completed in the short to medium term.

Provision of funding would be guided through Council's annual Operational Plan and priorities as they arise.

Council has limited funds, and as such may rely on developer contributions, external grants, income from use of the sporting facilities, and other sources of funding for future management of and improvements to the park. Such funding will be sought from a range of government, Council, corporate, partnerships with user groups, and community sources on an ongoing basis as required.

7.6 Reporting

Council will report on the progress of implementing this Plan of Management in the following ways:

- Within Council's Integrated Planning and Reporting framework
- Including achieved and proposed actions in its quarterly and annual reports
- When preparing capital works and maintenance budgets
- Issuing media releases and information on its website
- Providing information flyers and newsletters to adjoining residents and other stakeholders.

Achievement of actions listed in this Plan of Management will be reported using Council's Integrated Planning and Reporting Framework.

Achievement of major actions in constructing the proposed works will be reported in Hawkesbury City Council's Annual Report and community newsletters.

Income, expenditure and achieved actions regarding Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool will be reported to Council in each financial year.

7.7 Change and Review of this Plan of Management

This Plan of Management will require regular review to align with community values and changing community needs, and to reflect changes in Council priorities. Council has determined that it will review the Plan of Management within 5 to 10 years of its adoption. However, the performance of this Plan of Management as set out in the Action Plan will be reviewed on an annual basis to ensure that Church Street Reserve/Oasis Aquatic and Fitness Centre and Windsor Preschool is being managed in accordance with the Plan of Management, is well maintained, and provides a safe environment for public enjoyment.

Council may continue to acquire or divest land for the benefit of the community. Land may also come into Council's ownership by dedication of land for open space.

The community will have the opportunity to participate in reviews of this Plan of Management.

This Plan of Management is intended to be reviewed within 5 years, and updated within 10 years or if circumstances reflect changing community and Council priorities and issues, to take into account changes in grants and funding, legislation or government directions, and to recognise completed actions. Review of this Plan of Management should also take into account the outcomes of periodic reviews of Council's strategic and operational plans.

The Action Plan tables have a shorter life and therefore require more frequent reviews and updating. The Action Plan tables should be reviewed and revised when required in accordance with Council's budgets, Capital Works Program and changing priorities.

REFERENCES

- Benson, D. (1990) *Taken for Granted: The Bushland of Sydney and Its Suburbs*.
- Bewsher (2012) *Hawkesbury Floodplain Risk Management Study and Plan: Volume 1 Main Report*. Prepared for Hawkesbury City Council, December.
- Bewsher (2012) *Hawkesbury Floodplain Risk Management Study and Plan: Volume 2 Planning Issues*. Prepared for Hawkesbury City Council, December.
- Bewsher (2012) *Hawkesbury Floodplain Risk Management Study and Plan: Volume 3 Flood Maps and Annotated Bibliography*. Prepared for Hawkesbury City Council, December.
- Clouston Associates and OneEighty Sports and Leisure Solutions (2013) *Hawkesbury Regional Open Space Strategy*.
- Department of Planning and Environment (2019) *Everyone Can Play: A Guideline to Create Inclusive Playspaces*.
- Department of Planning and Environment (2019) *Greater Sydney Outdoors Study*.
- GLN Planning (2015) *Hawkesbury Section 94 Contributions Plan 2015*. Prepared for Hawkesbury City Council.
- GML Heritage (2021) *Hawkesbury Local LGA Aboriginal Cultural Heritage Study*. Prepared for Hawkesbury City Council.
- Government Architect NSW (2017) *Greener Places: establishing an urban green infrastructure policy for New South Wales*.
- Greater Sydney Commission (2017) *Our Greater Sydney 2056: A Metropolis of Three Cities – connecting people*.
- Greater Sydney Commission (2017) *Western City District Plan*.
- Green Geotechnics (2024) *Geotechnical Investigation for Hawkesbury City Council – Oasis Aquatic Centre, 101 Church Street, South Windsor*.
- GTA Consultants (2010) *Hawkesbury Mobility Plan 2010: Bike Plan and Pedestrian Access and Mobility Plan (PAMP)*. Prepared for Hawkesbury City Council.
- Hawkesbury Access and Inclusion Committee (2014) *Access and Inclusion Plan 2014–2017*. Prepared for Hawkesbury City Council.
- Hawkesbury City Council (2017) *Hawkesbury- A Thematic History*.
- Hawkesbury City Council (2017) *Hawkesbury Community Strategic Plan 2017–2036*.
- Hawkesbury City Council (2024) *Social Infrastructure Assessment and Strategy 2024–2034*.
- TyrrellStudio and Office of the Government Architect (2017) *Sydney Green Grid: Spatial Framework and Project Opportunities*.

This page is left blank intentionally

APPENDIX A

RELEVANT LEGISLATION AND PLANS

A.1 NSW Government Plans

A.1.1 NSW Government Legislation

State Environmental Planning Policy (Biodiversity and Conservation) 2021

The State Environmental Planning Policy (Biodiversity and Conservation) 2021 contains provisions seeking to protect and preserve bushland within public open space zones and reservations. Bushland means land on which there is vegetation which is either a remainder of the natural vegetation of the land or, if altered, is still representative of the structure and floristics of the natural vegetation.

SEPP Vegetation in Non-Rural Areas 2017

The SEPP Vegetation in Non-Rural Areas 2017 regulates native vegetation clearing in urban local government areas (and in urban environmental zones) where such clearing would not otherwise require development consent under the Environmental Planning and Assessment Act 1979. It requires that the biodiversity offset scheme (under the Biodiversity Conservation Act 2016 and associated Regulation) is applied to all clearing of native vegetation that exceeds the offset thresholds (and does not otherwise require development consent) in urban areas and environmental conservation zones.

Other NSW Legislation

Other NSW legislation may at times be relevant for the planning, development and management of Church Street Reserve and Windsor Preschool, as follows:

- *National Parks and Wildlife Act 1974* contains provisions to protect places, objects and features of significance to Aboriginal people as well as to protect and conserve habitats, ecosystems and wildlife, landforms/landscapes and natural features of significance
- *Disability Inclusion Act 2014* provides for the provision of services for, and inclusion of, people with a disability
- *Companion Animals Act 1998* requires environmental initiatives by councils to promote responsible animal ownership, provides for owners to have effective control of dogs and cats in public places, and prohibits dogs within 10 metres of a playground and food preparation/consumption areas and some recreation areas
- *Smoke-free Environment Act 2000* and *Smoke-free Environment Regulation 2016* prescribe controls regarding smoking tobacco (prohibited within 10 metres of a playground or a spectator area for/ while watching an organised sporting event).

A.1.2 NSW Government Policies and Plans

Premier's Priorities

This plan aligns with these relevant NSW Premier's Priorities:

- **Greener Public Spaces:** Increase the proportion of homes in urban areas within 10 minutes' walk of quality green, open and public space by 10 per cent by 2023.
- **Greening Our City:** Increase the tree canopy and green cover across Greater Sydney by planting one million trees by 2022.

NSW Public Spaces Charter

Council has formally recognised its commitment to the social, cultural, environmental and economic benefits of open space as a signatory to the 2021 NSW Public Spaces Charter.

The NSW Public Spaces Charter applies to:

- **Public Open Spaces:** active and passive (including parks, gardens, playgrounds, public beaches, riverbanks and waterfronts, outdoor playing fields and courts, and publicly accessible bushland).
- **Public Facilities:** including libraries, civic/community centres, showgrounds, and indoor public sports facilities.
- **Streets:** including squares and plazas, and bicycle paths.

The ten draft principles for NSW public spaces help ensure that everyone has access to high quality public space that allows them to enjoy and participate in public life. The Charter cites the US-based Project for Public Spaces' finding that successful places have four key qualities:

- They are accessible – can I get there?
- People can engage in activities there – am I able to play and participate?
- The space is comfortable and has a good image – am I able to stay?
- It is a sociable place – am I able to connect?

Greener Places (Draft)

Greener Places is the draft Green Infrastructure policy produced by the Government Architect NSW which guides the planning, design and delivery of green infrastructure in urban areas across NSW.

Greener Places recognises that the network of green spaces, including parks and other public open space, provides numerous benefits in an urban environment. Such benefits include health, environmental, social, recreational, and economic. As such, green infrastructure is essential infrastructure, and is as crucial to the city as transport, cultural and communications infrastructure.

Greener Places builds on the Sydney Green Grid which was developed to create a network of high quality green areas that connect town centres, public transport networks and major residential areas in Sydney.

Greener Places aims to create a healthier, more liveable and sustainable urban environment by improving community access to recreation and exercise, and supporting walking and cycling connections.

The key components of the green infrastructure framework are:

- Parks and open space – to deliver green infrastructure for people
- The urban tree canopy – to deliver green infrastructure for climate change adaptation and resilience
- Bushland and waterways – to deliver green infrastructure for habitat and ecological health.

Well designed green infrastructure responds to four key principles:

- **Integration:** combine green infrastructure with urban development and grey infrastructure.
- **Connectivity:** create an interconnected network of open space.
- **Multi-functionality:** deliver multiple ecosystem services simultaneously.
- **Participation:** involve stakeholders in development and implementation.

Greener Places advocates for public spaces to help meet the challenges associated with:

- **Health:** improving community physical and mental health outcomes by providing high quality open space within walking distance to encourage healthy activities.
- **Climate resilience:** enhancing tree canopy and other solutions like green roofs to improve air quality and reduce temperatures as we experience impacts of climate change.
- **Rapid population growth:** meeting the need for provision of accessible public spaces responding to higher density living.

Desired outcomes of an integrated, connected and multifunctional green infrastructure network are:

- Conservation of the natural environment
- Increased access to open space
- Improved connectivity to promote active living
- Increase urban greening to ameliorate climate extremes.

Well designed, accessible, high quality and diverse greener places make it easier for people to be physically and mentally active. The social benefits of green infrastructure include to provide more opportunities and places for children to play.

Supporting Greener Places, the Draft Urban Tree Canopy Guide sets a target for increasing the tree canopy in Greater Sydney to more than 25% in medium density areas, and more than 40% in suburban areas.

Draft Greener Places Design Guide

The draft guide provides information on how to design, plan and implement green infrastructure, including parks and sportsgrounds, in urban areas throughout NSW.

The draft guide focuses on:

- **Open space for recreation:** green infrastructure for people
- **Urban tree canopy:** green infrastructure for adaptation and resilience and
- **Bushland and waterways:** green infrastructure for habitat and ecological health

The draft guide provides strategies, performance criteria and recommendations to assist planning authorities and design and development communities to deliver green infrastructure.

Better Placed

The Better Placed design policy for the built environment by Government Architect NSW places good design at the centre of all development stages from project definition and concept design to construction and maintenance. The relevant objectives for built structures in Church Street Reserve and Windsor Preschool are:

- **Better fit:** contextual, local and of its place
- **Better performance:** sustainable, adaptable and durable
- **Better for the community:** inclusive, connected and diverse
- **Better for people:** safe, comfortable and liveable
- **Better working:** functional, efficient and fit for purpose
- **Better value:** creating and adding value
- **Better look and feel:** engaging, inviting and attractive.

Everyone Can Play

Play is for everyone, regardless of age, ability or cultural background. The NSW Everyone Can Play Guideline is the design principles and best practice toolkit for local Councils, play space designers and other community members to ensure that inclusive play spaces are designed and delivered to enhance accessibility and opportunities for recreation activities and social interaction to be enjoyed by everyone in the community.

Addressing the three questions: Can I get there? Can I play? Can I stay? Should be central when creating and modernising playspaces across NSW.

A.2 Greater Sydney, District and regional plans

A.2.1 Strategic Landuse Plans

The Greater Sydney Region Plan: A Metropolis of Three Cities outlines a vision for a metropolis of three cities where the people of Greater Sydney live within 30 minutes of their jobs, education and health facilities, services and great places.

Public open space is identified across several directions of the Greater Sydney Region Plan. The following directions for Liveability and Sustainability of Greater Sydney, and the objectives and strategies which flow on from them, are set out below. Actions relating to each strategy are derived from the Western City District Plan which follows on from 'A Metropolis of Three Cities'.

Directions, planning priorities, objectives, strategies and actions for Greater Sydney and the Western City District

Directions	Planning Priority	Objectives	Strategies / actions			
Sustainability						
A city in its landscape: Valuing green spaces and landscape	W12	Protecting and improving the health and enjoyment of the District's waterways	25	The coast and waterways are protected and healthier	67	Protect environmentally sensitive areas of waterways.
					68	Enhance sustainability and liveability by improving and managing access to waterways and foreshores for recreation, tourism, cultural events and water-based transport.
					69	Improve the health of catchments and waterways through a risk-based approach to managing the cumulative impacts of development, including co-ordinated monitoring of outcomes.
	W14	Protecting and enhancing bushland and biodiversity	27	Biodiversity is protected, urban bushland and remnant vegetation is enhanced	72	Protect and enhance biodiversity by: <ul style="list-style-type: none"> Supporting landscape-scale biodiversity conservation and the restoration of bushland corridors Managing urban bushland and remnant vegetation as green infrastructure Managing urban development and urban bushland to reduce edge-effect impacts.
	W15	Increasing urban tree canopy cover and delivering Green Grid connections	30	Urban tree canopy cover is increased	76	Identify and protect ridgelines, scenic and cultural landscapes
					32	The Green Grid links parks, open spaces, bushland and walking and cycling paths
W16	Protecting and enhancing scenic and cultural landscapes	28	Scenic and cultural landscapes are protected	80	Maximise the use of existing open space and protect, enhance and expand open space by: <ul style="list-style-type: none"> Providing opportunities to expand a network of diverse, accessible, high quality open spaces that respond to the needs and values of communities as populations grow. Providing walking and cycling links for transport as well as leisure and recreation trips 	
W18	Delivering high quality open space	31	Public open space is accessible, protected and enhanced	87	Support initiatives that respond to the impacts of climate change.	
A resilient city: Adapting to a changing world	W20	Adapting to the impacts of urban and natural hazards and climate change	37	Exposure to natural and urban hazards is reduced	87	Support initiatives that respond to the impacts of climate change.

A.2.2 Green Grid Plans

Church Street Reserve and Windsor Preschool is part of the Greater Sydney Green Grid, a network of high quality green spaces connecting streets, parks, waterways and bushland to public transport, centres, and public spaces.

The relevant components of the Sydney Green Grid include:

- Recreation Grid:
 - Increase access to open space
 - Create a high quality and active public realm
- Ecological Grid
 - Conserve the natural environment
 - Adapt to climate extremes
 - Increase urban greening
 - Improve management, maintenance and sustainable greenspace design
- Blue (Hydrological) Grid
 - Increase environmental quality
 - Reveal the unique character of Sydney's waterscapes
 - Reframe waterways as connectors not barriers.

The Green Grid – Western District Plan outlines priority projects in Hawkesbury City Council, as a key active recreation link and regional open space corridor between the city and the west.

A.2.3 Recreation Plans

Greater Sydney Outdoors Survey

The NSW Office of Open Space and Parklands (Department of Planning, Industry and Environment) completed the Greater Sydney Outdoors Survey into the recreation needs of Greater Sydney in 2019.

Through the study they learnt what Sydneysiders like to do outdoors:

- They love experiencing the outdoors on foot, going for runs, enjoying long hikes and taking in the view on leisurely strolls.
- Water is important to everyone, whether it's swimming at the beach or picnicking by a river you really love being around it.
- Connections matter, a lot of Sydneysiders spend time in Sydney's open spaces together with friends, family and your dogs.

Compared to Greater Sydney as a whole, West District residents participate generally less in outdoor recreation activities, except for walking the dog.

80% of Western City District residents agree with "Having good outdoor recreation areas and waterways is a great way to bring the community together."

Western City residents (57%) were less likely than All Sydney residents (67%) to agree with "I have good access to outdoor recreation areas in the area where I live."

81% of Western City District residents travel by car to outdoor recreation areas, with an average travel time of 30 minutes. Similarly 83% of Western City District residents travel by car to waterways, with an average travel time of 50 minutes. Therefore easy access to outdoor recreation areas, particularly waterways, is important to Western City District residents.

DPE learnt that Western City District residents would like to see:

- More open spaces in the local area, to help increase participation in outdoor recreation
- Open spaces that assist in building a greater sense of community
- Higher quality parks, with good facilities
- Improvements to walking and cycling networks, to help get to outdoor recreation areas without a car
- Protection of existing open spaces and other recreational areas for future communities
- More opportunities for swimming and water-based activities in the local area
- Open spaces that feel safe and provide for multiple uses.

The results are intended to assist local Councils with their recreation planning. Many of these desired outcomes are or can be accommodated in Church Street Reserve.

A.2.4 Planting Plans

The NSW Government is aiming to work with Councils and the community to plant Five Million Trees for Greater Sydney (5MT) by 2030 in streets, parks, backyards, neighbourhoods and schools, so we can grow our tree canopy from 16.8% to 40%. More tree canopy means healthier neighbourhoods, more shade, cooler suburbs, habitats for wildlife and an increase in property values.

The Five Million Trees for Greater Sydney (5MT) Grant supports local councils in Greater Sydney to enhance urban tree canopy by co-funding tree planting projects in public spaces such as streets, parks and plazas.

A.3 Hawkesbury City Council Plans

A.3.1 Hawkesbury – A City in its Landscape

Regional open space is a valued aspect of living in Hawkesbury, the largest local government area in the Western Parkland City. For those who want peace and quiet away from the hustle and bustle of the city, it is a place of choice where locals rate the number one reason for living in Hawkesbury as, the lifestyle. The Hawkesbury River acts as the spine connecting all communities and its people.

Open spaces are valued by locals and serve as a tourist attraction with regional route connectivity to nearby town centres, the Hawkesbury River Great Walk, the Hawkesbury Valley Way, The National Park Experience, and the Macquarie Towns loop.

A.3.2 Social Infrastructure Assessment and Strategy 2024–2034

The Hawkesbury Social Infrastructure Assessment and Strategy 2024–2034 guides Council's future decisions about the planning, delivery, funding and management of open spaces, sporting and recreation facilities, and community, and cultural facilities.

A.3.3 Mobility Plan

Planned road upgrades, wayfinding and master planning projects will contribute to walkable and bikeable city goals in Council's Mobility Plan which aims to reduce traffic and congestion and increase health outcomes by encouraging walking and biking.



Hawkesbury City Council
366 George Street (PO BOX 146)
Windsor NSW 2756
(02) 4560 4444 | (02) 4587 7740
council@hawkesbury.nsw.gov.au
www.hawkesbury.nsw.gov.au